



Board of Adjustment Staff Report

Meeting Date: April 3, 2018

Agenda Item: 9F

ADMINISTRATIVE CASE NUMBER: WADMIN18-0003 (Cold Springs Valley Church)

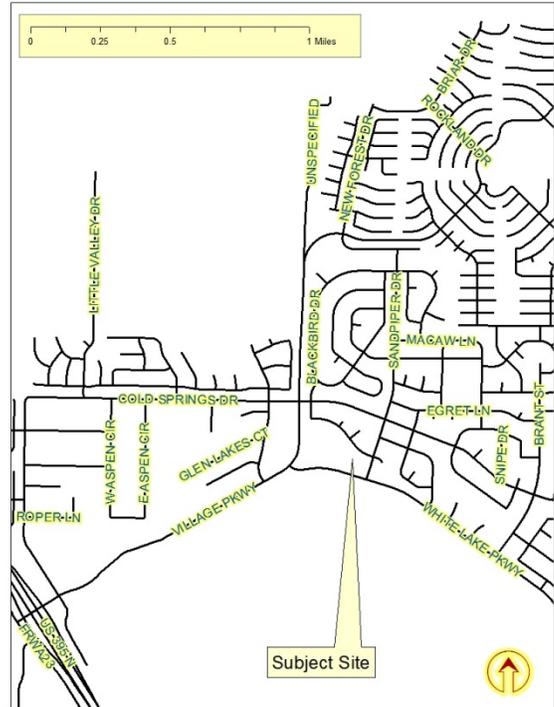
BRIEF SUMMARY OF REQUEST: Construction and operation of a church.

STAFF PLANNER: Planner's Name: Roger Pelham
Phone Number: 775.328.3622
E-mail: pelham@washoecounty.us

CASE DESCRIPTION

For possible action, hearing, and discussion to approve an administrative permit for the construction and operation of a church (Religious Assembly Use Type). The church building is proposed to be approximately 8,400 square feet in size, with a parking area on site consisting of approximately 88 general spaces and 6 spaces for disabled persons (approximately 94 total).

Applicant:	Tom Thomas
Location:	North side of White Lake Parkway, approximately 300 feet west of its intersection with Sandpiper Drive.
Parcel Size:	± 1.43 acres (± 62,290 square feet)
Assessor's Parcel Number:	087-031-24
Master Plan:	Commercial
Regulatory Zone:	Neighborhood Commercial (NC)
Area Plan:	Cold Springs
Citizen Advisory Board:	North Valleys
Development Code:	Authorized in Table 110.302.05.2
Commission District:	5 - Commissioner Herman
Section/Township/Range:	Section 21, T21N, R18E, MDM, Washoe County, NV



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN18-0003 for Cold Springs Valley Church, having made all five findings in accordance with Washoe County Development Code Section 110.808.25.

(Motion with Findings on Page 13)

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Administrative Permit Definition

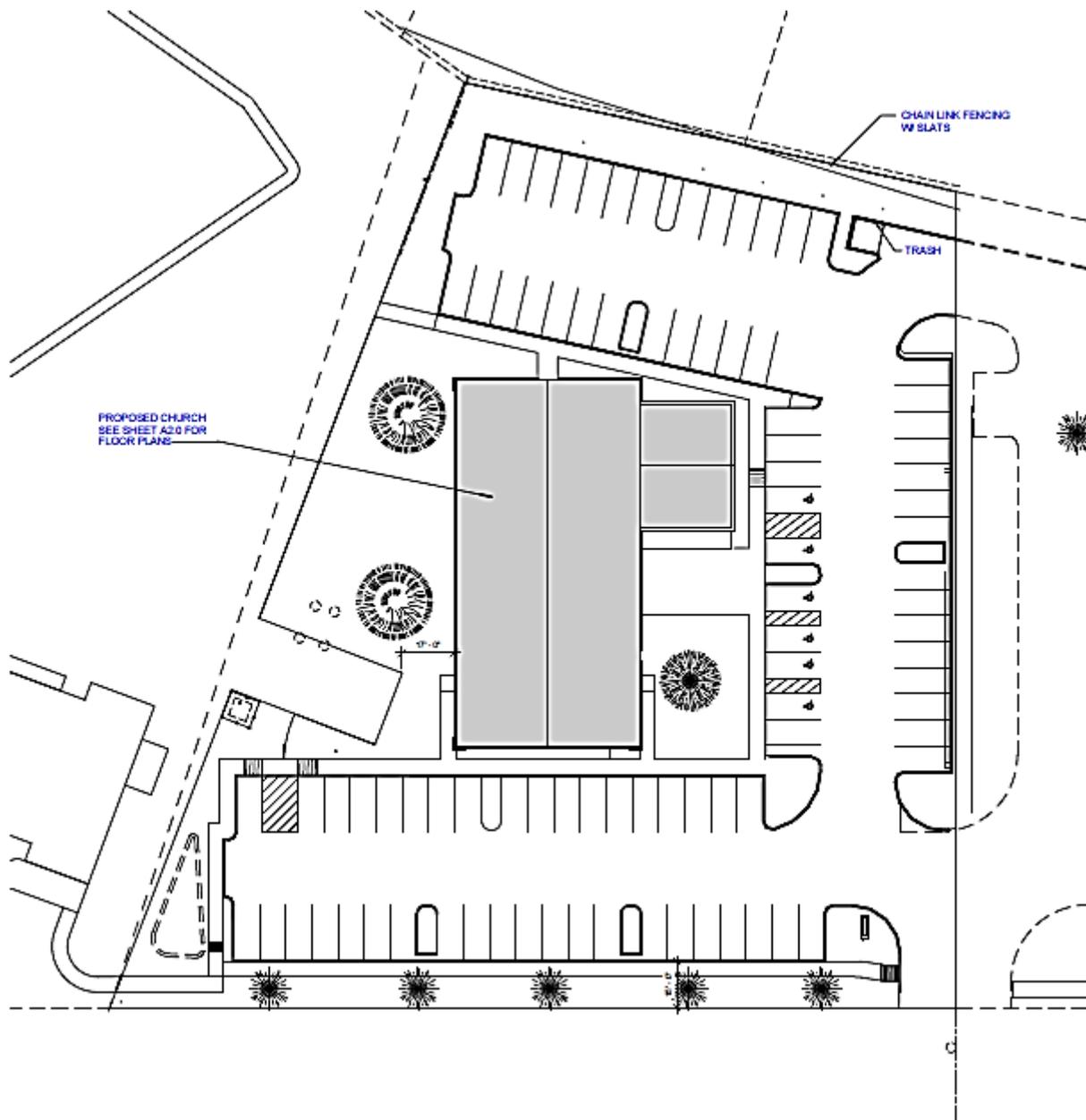
The purpose of an Administrative Permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Hearing Examiner or the Board of Adjustment must find that all of the required findings, if applicable, are true.

The Conditions of Approval for Administrative Permit Case Number WADMIN18-0003 are attached to this staff report and will be included with the Action Order.

The subject property is designated as Neighborhood Commercial (NC). A church (Religious Assembly use type) is permissible in the NC regulatory zone subject to the approval of an Administrative Permit in accordance with Table 110.302.05.2 and Article 808, Administrative Permits. Therefore, the applicant is seeking approval of an administrative permit for the construction and operation of a church.

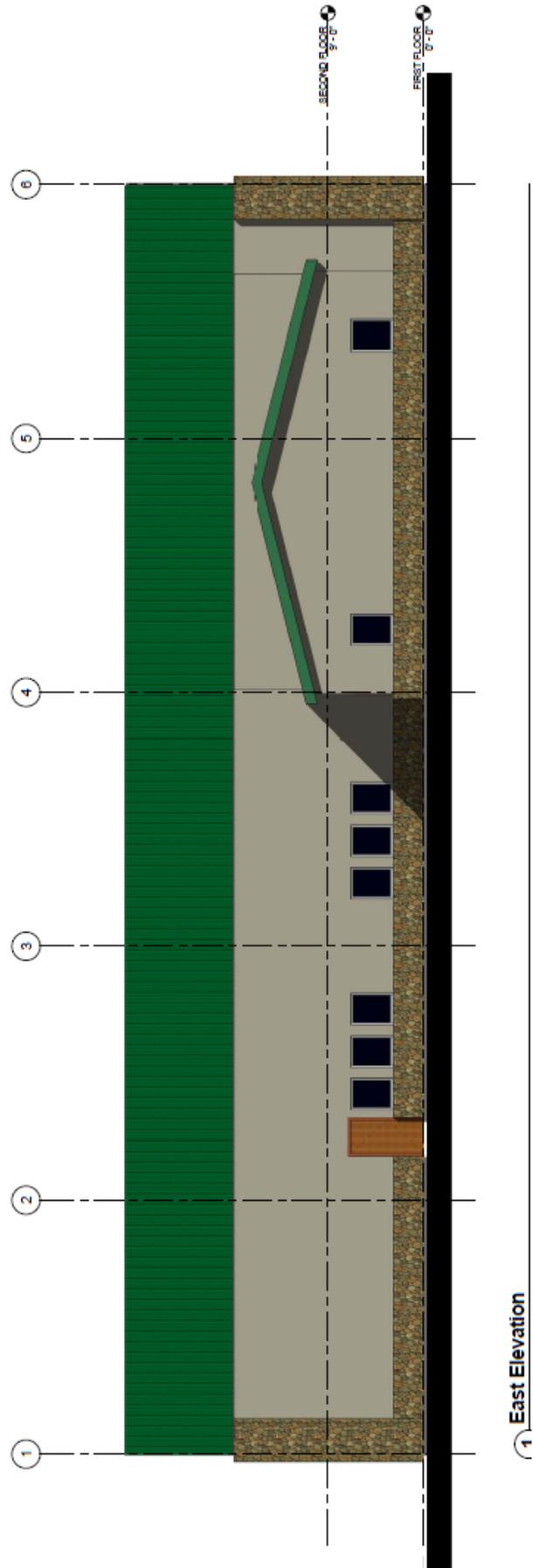


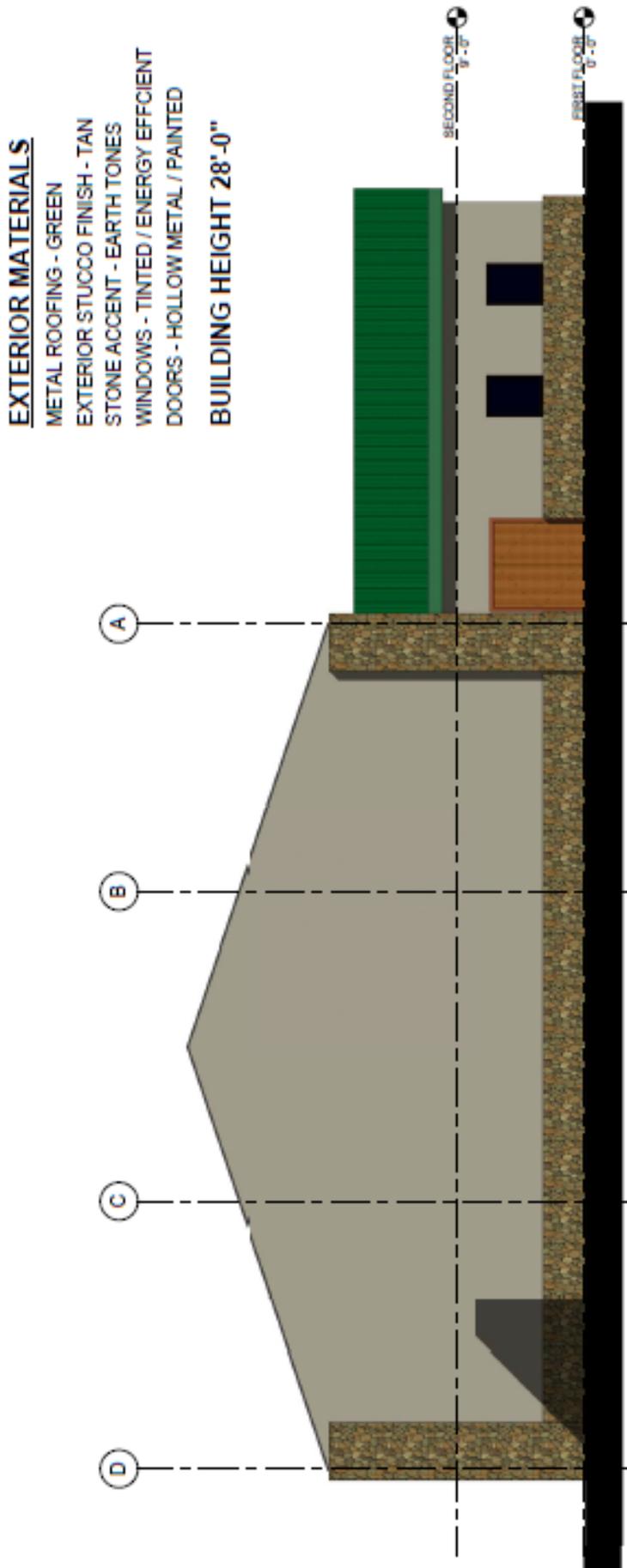
Vicinity Map



Site Plan

Elevations of the proposed church building are included in the following pages.



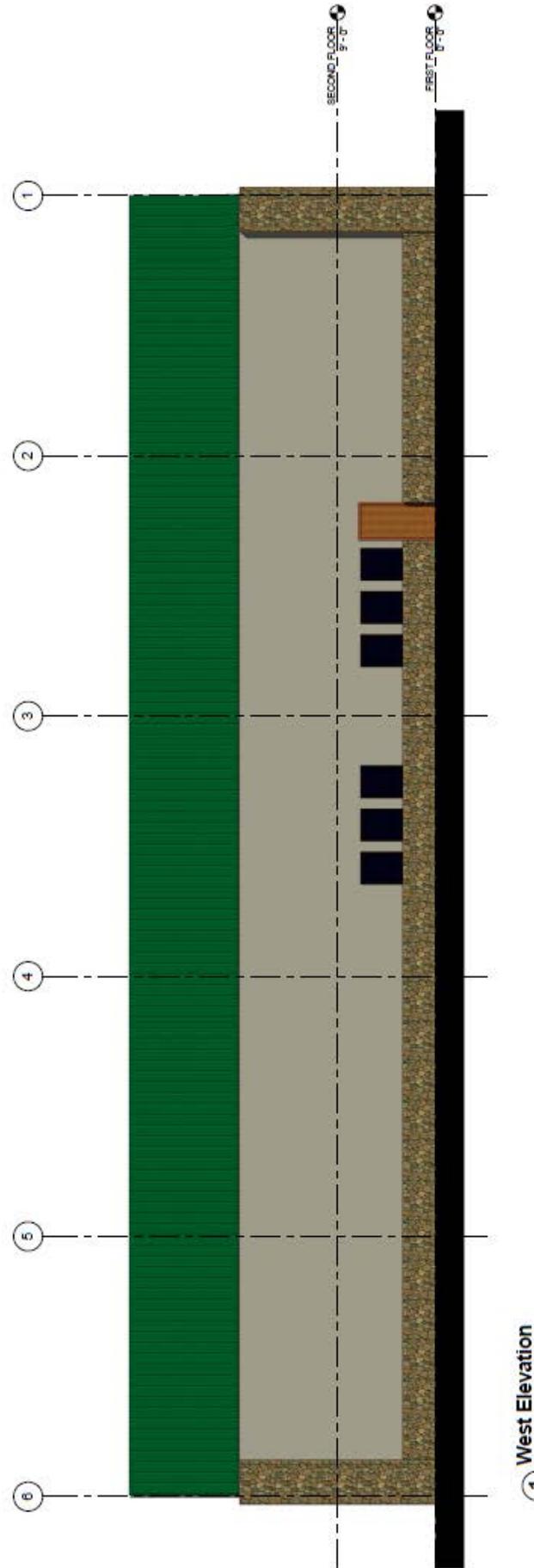


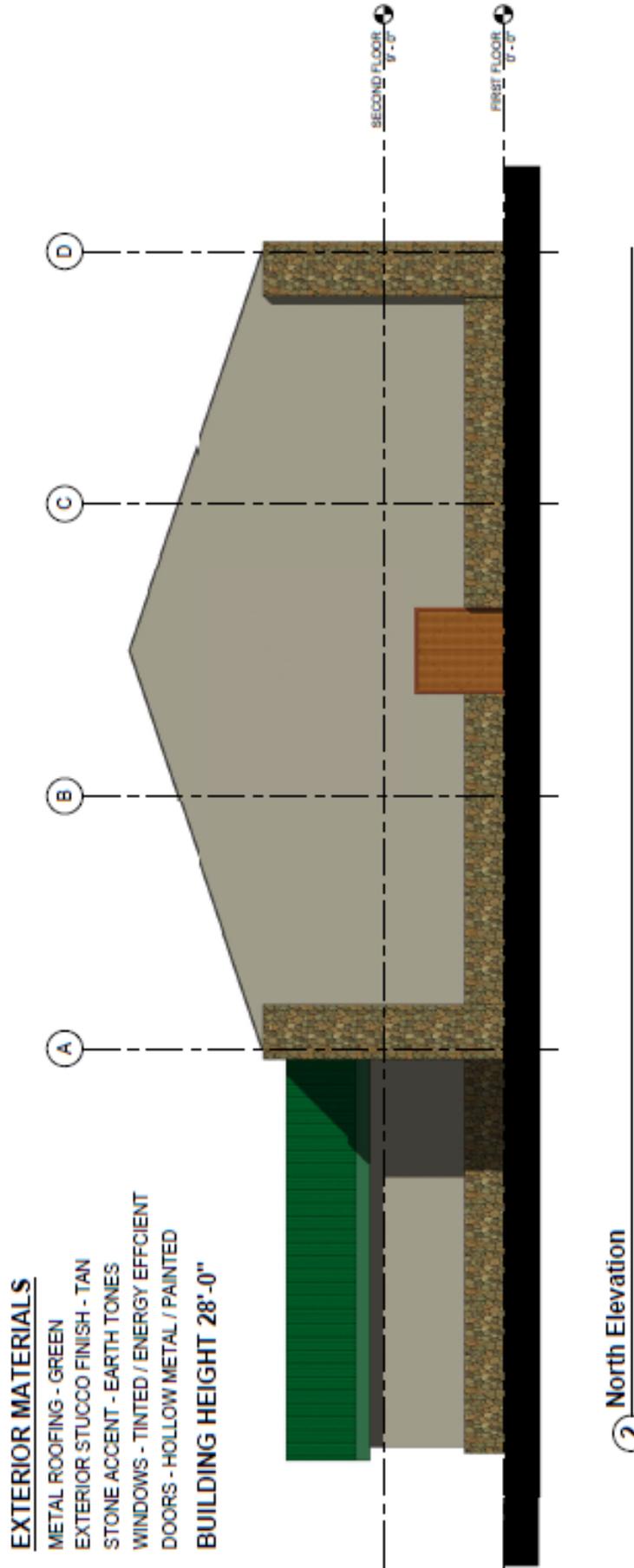
EXTERIOR MATERIALS

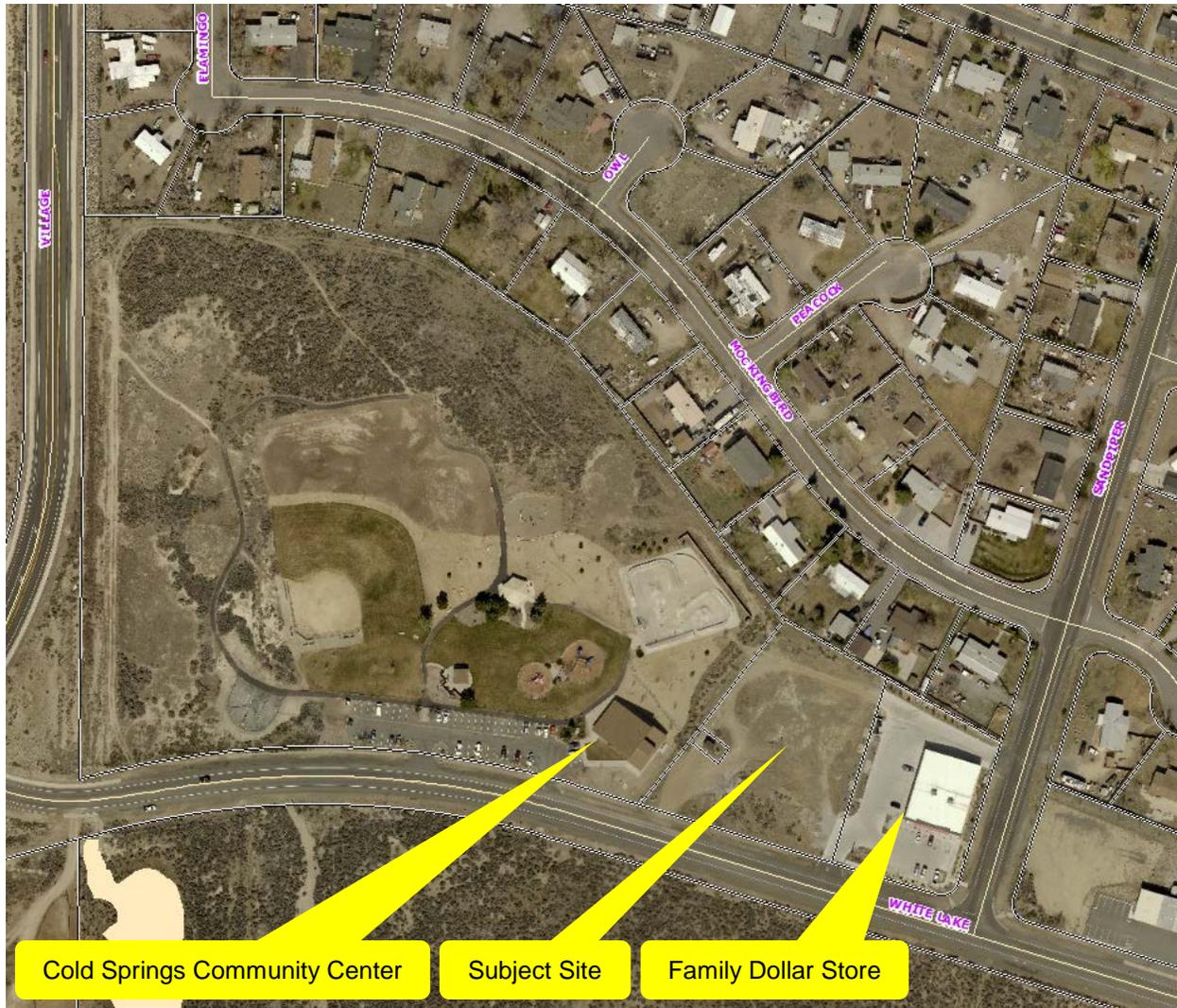
- METAL ROOFING - GREEN
- EXTERIOR STUCCO FINISH - TAN
- STONE ACCENT - EARTH TONES
- WINDOWS - TINTED / ENERGY EFFICIENT
- DOORS - HOLLOW METAL / PAINTED

BUILDING HEIGHT 28'-0"

South Elevation







Overhead Photo

Project Evaluation

The applicant, Cold Springs Valley Church, is requesting approval to construct and operate a church located on the north side of White Lake Parkway, approximately 300 feet west of its intersection with Sandpiper Drive. Access to the facility is proposed to be from White Lake Parkway. The plans submitted by the applicant are in general compliance with nearly all required development standards for the Neighborhood Commercial Regulatory zone as well as for a civic use abutting a residential use.

There is a Family Dollar store located directly to the east of the project site access will be shared between the church and the store. The construction of a church would have little, if any impact upon that use. The Cold Springs Community Center is located to the west. White Lake Parkway is to the south, and immediately south of that is an undeveloped area. Negligible impact is anticipated to be created by the proposed Church on the adjacent uses.

Single-family residences are located to the North of the project site. Development Code standards exist for the buffering of a residence from a Civic or Commercial use. In addition to the minimum requirements in those standards the applicant has proposed to place the Church building approximately 80 feet from the northern property line to create a parking area which also created an additional buffer area. Among the buffer treatments in those standards is the

requirement for a six-foot-tall solid wall or fence. The applicant has proposed a chain link fence with slats.

Perhaps the biggest impact upon the surrounding area would be traffic to and from the site, before and after Church services, or other large gatherings at the Church. The anticipated peak volume of traffic is below the thresholds to require a traffic study. The anticipated peak volume of traffic will most likely be during the morning hours on Sundays. This is typically a time of low traffic volume otherwise, and thus, the additional traffic to the Church is unlikely, in the opinion of staff, to have significant impact upon the surrounding area. The parking lot is proposed to include 88 standard parking spaces and six Handicapped parking spaces. A condition of approval has been recommended that an Engineers Statement be included, with the plans submitted for building permits, that demonstrates sufficient parking has been provided in accordance with Article 410, Parking, of the Development Code. Given the amount of parking provided, it is unlikely that those attending the Church will choose to park elsewhere, such as at the Community Center or the Family Dollar.

The height and location meet Development Code standards. There are no architectural standards that apply to the proposed church.

North Valleys Citizen Advisory Board (NVCAB)

This application was considered by the North Valleys CAB on March 12, 2018. The CAB took action to simply forward the public comments from that meeting to the Board of Adjustment. A copy of the memorandum from that meeting is attached as Exhibit D, with this report. Concerns include the height, location and colors of the proposed church.

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
 - Engineering and Capital Projects Division
 - Parks and Open Spaces
 - Planning and Building Division
 - Utilities/Water Rights
- Washoe County Health District
 - Emergency Medical Services Program
 - Air Quality Management Division
 - Environmental Health Services Division
- Washoe County Regional Animal Services
- Washoe-Storey Conservation District
- Washoe County Sheriff
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Nevada Department of Environmental Protection
- US Postal Service

Two out of the fourteen above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order, if the Administrative Permit is approved by the Board of Adjustment.

- Washoe County Planning and Building Division addressed landscaping, parking and lighting standards and imposed operational conditions that will be in effect for the life of the project.
Contact – Roger Pelham, 775.328.3622, rpelham@washoecounty.us
- Washoe County Engineering addressed the specifications for technical details associated with the required building permit.
Contact – Leo Vesely, 775.328.2040, ivesely@washoecounty.us

Staff Comment on Required Findings

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Planning Commission before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan.

Staff Comment: There are no policies in the Cold Springs Area Plan that are applicable to the proposed church. The Religious Assembly use type is a permissible use in the Neighborhood Commercial (NC) regulatory zone, and in the Cold Springs Area Plan, subject to the approval of an Administrative Permit by the Washoe County Board of Adjustment.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed facility will be served by connection to existing water, sewer, power and roadway facilities, all of which are adjacent to the proposed project site.

3. Site Suitability. That the site is physically suitable for a church, and for the intensity of such a development.

Staff Comment: The proposed facility is located between an existing commercial use and an existing civic use. The site proposed for the church is suitable.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The proposed use is in scale and character with the surrounding developed parcels. Existing utilities will be utilized. The project will utilize an existing parcel and constitutes “in-fill” within a developed area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the area required to be noticed for this Administrative Permit request. Therefore this finding is not required to be made.

Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Administrative Permit Case Number WADMIN18-0003 is being recommended for approval with conditions. Staff offers the following motion for the Board’s consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN18-0003 for Cold Springs Valley Church, having made all four findings in accordance with Washoe County Development Code Section 110.808.25:

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan;
2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. **Site Suitability.** That the site is physically suitable for a church, and for the intensity of such a development; and
4. **Issuance Not Detrimental.** That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant: Tom Thomas
3935 Rainier Court
Reno, NV 89508

Property Owner: Cold Springs Valley Church
PO Box 61447
Reno, NV 89506



Conditions of Approval

Administrative Permit Case Number WADMIN18-0003

The project approved under Administrative Permit Case Number WADMIN18-0003 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on April 5, 2018. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this Administrative Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Administrative Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Administrative Permit may result in the initiation of revocation procedures.

Operational Conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the Operational Conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “Conditions of Approval” are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

**Contact Name – Roger Pelham, Senior Planner, 775.328.3622,
rpelham@washoecounty.us**

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits shall be issued within two (2) years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by Planning and Building.
- c. The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170. Prior to any ground disturbing activity, the applicant shall submit a landscaping and design plan to the Planning and Building Division for review and approval. Said plan shall address parking, parking lot circulation and striping, signage, exterior lighting, trash enclosures, landscaping and plant material, type and size of plants, maturation size at full growth, landscaping location, and landscaping irrigation system.

- e. All landscaping, irrigation and screening shall be completely installed and shall satisfy the requirements as set forth in the Washoe County Development Code prior to issuance of a Certificate of Occupancy.
- f. A chain-link fence shall be installed on the western property line of the subject site. The fence shall be six feet in height.
- g. The applicant shall include a statement from an Engineer, licensed in Nevada, that the number of parking spaces provided is compliant with Article 410 of the Development Code.
- h. The applicant shall provide a water "will-serve" letter from the Great Basin Water Company. The applicant shall provide a sewer "will-serve" letter from Washoe County prior to approval the building permit for the proposed facility.
- i. The following **Operational Conditions** shall be required for the life of the business:
 - i. This administrative permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval null and void.
 - iii. All landscaping and irrigation systems shall be maintained at all times to conform with the Landscaping Section of the Washoe County Development Code for the life

- of the church, including the replacement of dead plants, trees, shrubs and all ground cover.
- iv. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - v. This administrative permit shall remain in effect as long as the church is in operation.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, 775.328.2040, lvesely@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. All grading shall comply with County Code Article 438, Grading Standards. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. The owner/developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
- c. The owner/applicant shall complete and submit the Construction Permit Submittal Checklist, the Performance Standards Compliance Checklist, and pay the construction stormwater inspection fee prior to obtaining a grading/building permit.
- d. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
- e. If the import or export of materials is required, the applicant shall indicate on the plans where the exported material will be taken or where the imported material will be coming from, and a grading permit shall be obtained for the import/export site.
- f. Estimated total earthwork volumes and area of disturbance shall be indicated on the grading plans.
- g. A hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall be in compliance with Washoe County Development Code Article 420 Storm Drainage Standards and include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- h. Any increase in storm water runoff resulting from the development of the site shall be detained on site to the satisfaction of the County Engineer.
- i. A 5 foot sidewalk shall be constructed along the White Lake Parkway frontage.

- j. Access to the Utilities Inc. of Nevada well site shall be perpetuated and site improvements shall be approved by Utilities Inc. of Nevada and the County Engineer.
- k. Washoe County approved plans shall be used for the construction of the sanitary sewer infrastructure necessary to serve the development and be prepared by a licensed engineer in the State of Nevada.
- l. Washoe County shall inspect all sewer infrastructure.
- m. The applicant shall provide record drawings of the sewer infrastructure per Washoe County design standards, and it shall be in a format acceptable to Washoe County.
- n. All sanitary sewer connection fees shall be paid in accordance with Washoe County Ordinance.

*** End of Conditions ***



WASHOE COUNTY
COMMUNITY SERVICES
INTEGRITY COMMUNICATION SERVICE

P.O. Box 11130
Reno, Nevada 89520-0027
Phone: (775) 328-3600
Fax: (775) 328-3699

February 22, 2018

TO: Roger Pelham, Senior Planner, CSD, Planning & Development Division
FROM: Vahid Behmaram, Water Management Planner Coordinator, CSD
SUBJECT: Administrative Permit Case Number WADMIN18-0003 (Cold Springs Valley Church)

Project description:

The applicant is proposing construction and operation of a church (Religious Assembly Use Type). The church building is proposed to be approximately 8,400 square feet in size. The property is located on White Lake Parkway, APN: 087-031-24. Water service is to be provided by Great Basin Water Company and sewage disposal will be provided by Washoe County.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

The applicant shall provide a water will serve from the Great Basin Water Company and a sewer will serve from Washoe County prior to approval the building permit for the proposed facility.



From: [Lawson, Jacqueline](#)
To: [Pelham, Roger](#)
Cc: [Dayton, Brittany](#)
Subject: FW: February Agency Review Memo II
Date: Thursday, February 22, 2018 10:15:58 AM
Attachments: [image001.gif](#)
[ATT00001.htm](#)
[February Agency Review Memo II.pdf](#)
[ATT00002.htm](#)

Hello Roger,

The EMS Program does not have any comments for Administrative Permit Case Number WADMIN18-0003 (Cold Springs Valley Church) included in February Agency Review Memo II (item 1). Please let me know if you have any questions.

Thank you

Jackie

From: Patrick Mohn
To: [Pelham, Roger](#)
Cc: [Emerson, Kathy](#)
Subject: Cold Springs Valley Church WADMIN18-0003 - Agency Review
Date: Wednesday, March 07, 2018 7:34:41 AM

Roger,

When the actual Tentative Map is submitted (with fees) for this project, the NDEP will do a detailed review and will provide a formal recommendation to Washoe County.

Upon review of the application, the NDEP is encouraged that the developer intends to obtain a connection to the sanitary sewer system and sewage treatment plant.

The NDEP will require an "Intent-to-Serve" letter for sewer from Washoe County for review at the Tentative Map level. For Final Map review, the NDEP will require a formal Will Serve for sewer and water.

Regards,

Pat



Patrick A. Mohn, M.Sc., P.E.
UIC Compliance Coordinator
Bureau of Water Pollution Control (BWPC)
Nevada Division of Environmental Protection
901 South Stewart Street, Suite 4001
Carson City, NV 89701
p: 775.687.9419 fax: 775.687.4684
pmohn@ndep.nv.gov



WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Engineering and Capital Projects Division

"Dedicated to Excellence in Public Service"

1001 East 9th Street PO Box 11130 Reno, Nevada 89520 Telephone: (775) 328-2040 Fax: (775) 328-3699

INTEROFFICE MEMORANDUM

DATE: March 12, 2018
TO: Roger Pelham, Planning and Development Division
FROM: Leo R. Vesely, P.E., Engineering and Capitol Projects Division
SUBJECT: **WADMIN18-0003**
APN 087-031- 04
COLD SPRINGS VALLEY CHURCH

I have reviewed the referenced special use permit and have the following conditions:

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. All grading shall comply with County Code Article 438, Grading Standards. Silts shall be controlled on-site and not allowed onto adjacent property.
2. The owner/developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
3. The owner/applicant shall complete and submit the Construction Permit Submittal Checklist, the Performance Standards Compliance Checklist, and pay the construction stormwater inspection fee prior to obtaining a grading/building permit.
4. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading.
5. If the import or export of materials is required, the applicant shall indicate on the plans where the exported material will be taken or where the imported material will be coming from, and a grading permit shall be obtained for the import/export site.
6. Estimated total earthwork volumes and area of disturbance shall be indicated on the grading plans.
7. A hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall be in compliance with Washoe County Development Code Article 420 Storm Drainage Standards and include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
8. Any increase in storm water runoff resulting from the development of the site shall be detained on site to the satisfaction of the County Engineer.
9. A 5 foot sidewalk shall be constructed along the White Lake Parkway frontage.
10. Access to the Utilities Inc. of Nevada well site shall be perpetuated and site improvements shall be approved by Utilities Inc. of Nevada and the County Engineer.

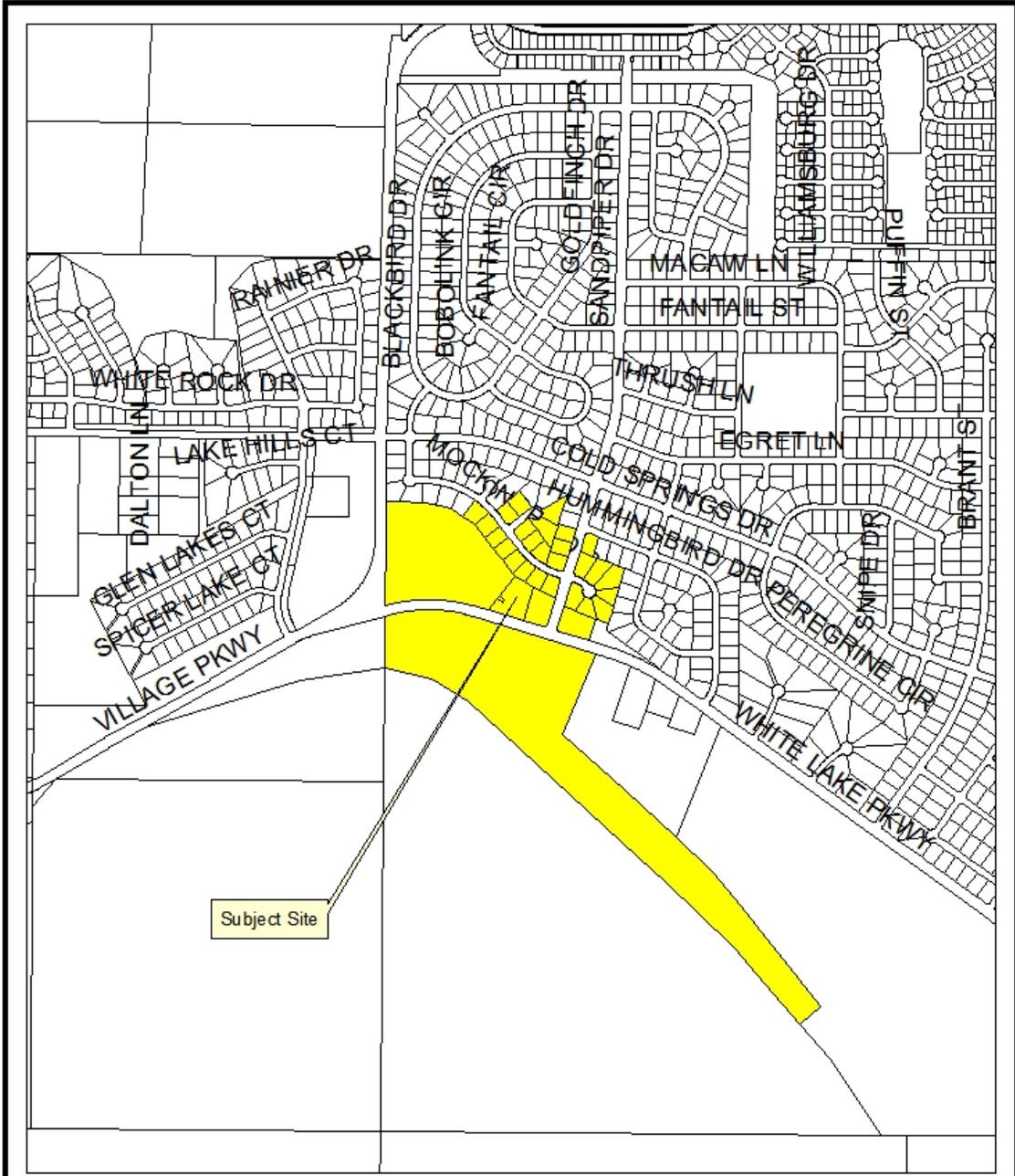
LRV/lrv

From: [O'Connor, Tim](#)
To: [Pelham, Roger](#)
Subject: Admin Permit Case WADMIN18-003 - Cold Springs Valley Church
Date: Wednesday, February 21, 2018 1:51:20 PM

Mr. Pelham,

The Washoe County Sheriff's Office Patrol Division has no issues with the Administrative Permit Case Number WADMIN18-003 – the Cold Springs Valley Church.

Captain Tim O'Connor
Washoe County Sheriff's Office
Patrol Division
775-328-3354
PRIDE - Professionalism, Respect, Integrity, Dedication, Equality



Subject Site

Mailing Label Map
 Administrative Permit Case Number WADMIN18-0003
 (Cold Springs Valley Church)
 32 Parcels selected at 500 feet.



Community Services
 Department
 Planning and
 Development Division
 WASHOE COUNTY
 NE VADA
 Post Office Box 11130
 Reno, Nevada 89520
 (775) 228-2600

Source: Planning and Development Division

Date: February 2018



East Truckee Canyon Citizens Advisory Board

MEMORANDUM

Date: March 14, 2018
To: Roger Pelham
Re: Administrative Permit Case Number WADMIN18-0003 (Cold Springs Valley Church)
From: Misty Moga, Recording Secretary

The following is an excerpt from the North Valleys Citizen Advisory Board on March 12, 2018.

7. DEVELOPMENT PROJECTS– The project description is provided below with links to the application or you may visit the Planning and Building Division website and select the Application tab and then the Applications Commission District Five. https://www.washoecounty.us/csd/planning_and_development/index.php

7.A. Administrative Permit Case Number WADMIN18-0003 (Cold Springs Valley Church)– Request for community feedback, discussion and possible action to forward community and Citizen Advisory Board comments to Washoe County staff on a request to construct and operate a church (Religious Assembly Use Type). The church building is proposed to be approximately 8,400 square feet in size.

- Applicant / Property Owner: Tom Thomas
- Location: Cold Springs Valley Church
- Assessor's Parcel Number(s): 087-031-24
- Staff: Roger Pelham, Senior Planner, 775-328-3622, rpelham@washoecounty.us
- Reviewing Body: Tentatively scheduled for Board of Adjustment, April 5, 2018

Eva Krause, Washoe County Planner, introduced herself and said she is attending for Roger Pelham.

Tom Thomas, pastor from Cold Springs Valley Church

- Overgrowing the current church
- Purchased the new property, space next door to the Dollar Store.
- Proposed structure will be 8400 sq ft with 200 seats

Teresa Aquila asked how the citizens in the area felt about the proposed church. Tom said there was one complaint about building design that the planner received. He said he hasn't heard any complaints himself. Parishioners comes from Cold Springs, Spanish Springs, and Stead.

Jean Harris asked Eva about the process. Eva said the next reviewing body is Board of Adjustment. Eva said it's an appointed board to review. Neighbors within a 500 foot radius received a notification of the project. Board of Adjustment and Planning Commission review different projects.

Public Comment:

Suzanne Freeman spoke about losing their sanctuary to an 8400 sq foot building. It would be more economical if the roof height was reduced. Please use desert muted colors including a brown roof to blend into the surrounding environment; use dark skies lighting to reduce light pollution. She said we live here all day and all night. Please consider one story structure, not two. It's the church's mission to care for fellow man; this is the opportunity to show that you care and leader to parishioners. Suzanne Freeman asked to reduce the roof height vaulted ceiling. If the ceiling is lower, we could save some of the view.

Joan Liscom concerned about new church expressed in letter to the County. She said she is concern with the shared ingress/egress entrance with the Dollar Store. Please consider the White Lake side of the property for the entrance for the church. In an emergency, people panic and don't reason well, and don't exit in an orderly manner. She said she has seen the worst conditions while serving as volunteer fire fighters. She said she has spoke with Pastor Thomas on a reasonable solution.

Tom Thomas said building height is already determined in the plans. It's under the allowed height. He said they can consider a change in the roof color and include a second entrance. Tom said the entrance will double in size. He wasn't sure what it takes to include a second entrance.

Jean Harris asked about the roof. Tom said the roof was donated and it's already constructed. The church was designed around the roof. It would require complete re-design and engineering.

Teresa Aquila asked for the purpose other than church and if there will be a school. Tom said just Sunday school. He said the lot size is 1.43 acres, and the building will be in the center of the lot. There will be two row of parking around the building. Jean Harris asked about the dark skies/light pollution. Tom said the lights are down shielding.

Ray Lake said he doesn't see how the building height can change without re-engineering. He said these comments will be forwarded to Board of Adjustments.

Jean Harris asked if the roof wasn't donated, would it still be this same height. Tom Thomas said he said it would be approximately the same height to meet the church's needs such as HVAC units, screens, audio visual, and stage. The second floor is mechanical room.

Natasha Hubbard said the current community center has two stories.

Roger Edwards said he would be interested to know the other heights of the commercial buildings in the area. Tom Thomas said Roger Pelham and other planners handle these issues. Roger Edwards said this project might be the only building 28 feet or higher in the area. It's worth looking into.

Eva Krause, Planner, said this project will go to the Board of Adjustment (BOA); if they approve the project, it can be appealed to County Commissioners. It can't appeal to the BOA.

MOTION: Teresa Aquila moved to forward the comments. Roger Edwards seconded to motion to forward the comments. Motion passed unanimously.

March 10, 2018

Roger Pelham, MPA

Senior Planner, Washoe County Community Services Department

Planning and Development Division

Dear Roger,

Thank you for taking the time to speak with me last week.

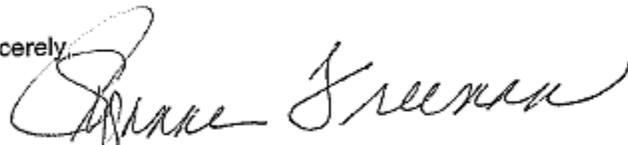
I have spoken with my neighbors who are just as distressed over losing their sanctuaries as I am.

The suggestions from those who were able to meet were that:

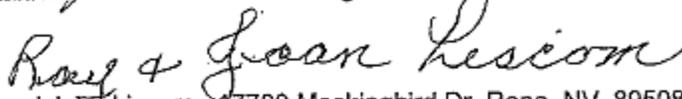
- 1) It would be more economical and eco friendly including less costly to heat and cool if the roof height were lowered from 28' to 19'. There could be a vaulted ceiling in the sanctuary, as well as storage and mechanical in trusses above classrooms and offices in a single story building with up to 12' high walls.
- 2) Using desert muted colors such as those on the Cold Springs Community Center including a brown roof would help the Church to blend into its surroundings.
- 3) Dark Sky compliant light fixtures used as needed to prevent excess light pollution.

If they could lower the roof and conform the visual closer to the style of the Cold Springs Community Center including making the roof a brown as opposed to green, there will be more community support for the project and create better neighbors on both sides of the fence.

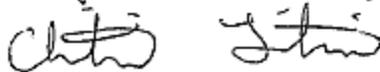
Sincerely,



Suzanne Freeman 17760 Mockingbird Dr. Reno, NV, 89508 775 677 1855



Ray and Joan Liscom 17780 Mockingbird Dr. Reno, NV 89508 775 303 6874



Christian Finkbeiner 17720 Mockingbird Dr. Reno, NV 89508 530 308 2789

David Tolladay 17740 Mockingbird Dr. Reno, NV 89508



From: pua89@charter.net
To: [Pelham, Roger](#)
Subject: CAB mtg March 12, 2018 CSVC
Date: Tuesday, March 13, 2018 8:24:47 AM

Dear Roger,

Since we are required to get our statements to you this morning so you can pass them on, I can only say that I will try to work with Tom Thomas to see if we can make some changes and get a few things accomplished before the April 5th meeting to avoid having to make any appeals.

I will be asking him if the positioning of the building can be changed by about 45 degrees or so as well as moving it closer to While Lake Parkway.

If you need further clarification on this please let me know.

Thank you,

Suzanne Freeman

March 12, 2018

The concerns of the people directly affected by the new Church have been voiced in the letter signed and submitted to the county. We are not objecting to the new Church but are asking for some concessions.

Another concern is the shared entrance and egress with the Family Dollar store. There is often congestion in the store's parking lot, during normal operating hours. The Church traffic will be an addition to that congestion. I would like to suggest an additional entrance and egress be considered, possibly to the White Lake side of the building. This should not cause any need for the building to be repositioned.

It is a proven fact in an emergency panic sets in and people do not reason well. When people suffer panic attacks they don't think about exiting a building or parking lot in an orderly manor or the safety others. People are often injured due to panic syndrome. Examples would be if there is a gas leak, fire in either building, an explosion or emergency equipment trying to enter the parking lot. My husband and I have served this community as volunteer firefighters for 30 years and have seen the best and the worst of people under all circumstances.

With that being said I have been told Pastor Thomas is a person who is caring, compassionate and concerned with the people of our community. We are all interested in an agreeable end for the church and community families. We would also like to be included in further planning which would bring the entire community closer together.

JOAN LISCOM
775 303 6874



Citizen Advisory Board Comment Card and Request to Speak

Name: Natasha Hubbard
Contact (phone, email - optional): 775-846-6416 tasha62380@yahoo.com
Citizen Advisory Board:
Date: 3-12-18
Agenda Item Number:

Please Circle One:

I would like to speak

I would like to provide written comment only

Comments (optional):

There has been a suggestion to lower our building because of view blockage - I would just like to state that the building we currently meet in is also two stories. It is the Cold Springs Community center. I'm not sure of ~~average~~ height, but it ~~is~~ sits right next door to our property & I believe it would be the same or similar height. The other thing, as a member of Cold Springs Valley Church, is that if it was possible to keep the building lower to accommodate their request, I would vote to do so, however, the steel building was gifted to us and we made the plans around that.

Thank you - *N. Hubbard*

WADMIN18-0001 Exhibit F

Community Services Department

Planning and Building

ADMINISTRATIVE PERMIT APPLICATION

(Care for the Infirm see page 9)



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Cold Springs Valley Church			
Project Description: To build a structure for worship and community outreach			
Project Address: 3375 White Lake Parkway			
Project Area (acres or square feet): 1.43 acres			
Project Location (with point of reference to major cross streets AND area locator): Entire property that is parallel to White Lake Pkwy. off of Village Pkwy. and Sandpiper			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
087-031-24	1.43		
Section(s)/Township/Range: North Valleys			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner: Cold Springs Valley Church		Professional Consultant:	
Name: Cold Springs Valley Church		Name:	
Address: P.O. Box # 61447 Reno		Address:	
Zip: 89506		Zip:	
Phone: 775-525-0002	Fax:	Phone:	Fax:
Email: tom.thomas91@yahoo.com		Email:	
Cell: 775-745-6127	Other:	Cell:	Other:
Contact Person: Tom Thomas		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Tom Thomas		Name:	
Address: 3935 Rainier Ct.		Address:	
Reno, Nv	Zip: 89508		Zip:
Phone: 775-745-6127	Fax:	Phone:	Fax:
Email: tom.thomas91@yahoo.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Tom Thomas		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Cold Springs Valley Church

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Thomas B. Thomas Jr., Cherie J. Pries
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 087-031-24

Cherie J. Pries
Cherie J. Pries
17735 Davenport Ln.
Reno, NV 89508

Printed Name Thomas B. Thomas Jr.

Signed [Signature]

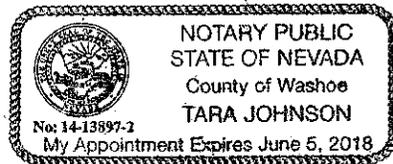
Address 3935 Rainier Ct.
Reno NV 89508

Subscribed and sworn to before me this
3rd day of January, 2018.

(Notary Stamp)

Tara Johnson
Notary Public in and for said county and state

My commission expires: June 5, 2018



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

(NONPROFIT) INITIAL/ANNUAL LIST OF OFFICERS AND DIRECTORS OF:

ENTITY NUMBER

COLD SPRINGS VALLEY CHURCH

C16837-1994

NAME OF CORPORATION

FOR THE FILING PERIOD OF **OCT, 2017** TO **OCT, 2018**



100206

USE BLACK INK ONLY - DO NOT HIGHLIGHT

****YOU MAY NOW FILE THIS LIST ONLINE AT www.nvsilverflume.gov****

Return one file stamped copy. (If filing not accompanied by order instructions, file stamped copy will be sent to registered agent.)

IMPORTANT: Read instructions before completing and returning this form.

1. Print or type names and addresses, either residence or business, for all officers and directors. A President, Secretary, Treasurer, or equivalent of and all Directors must be named. There must be at least one director. If there are additional officers, attach a list of them to this form. An Officer or other authorized signer must sign the form. **FORM WILL BE RETURNED IF UNSIGNED.**

2. Return the completed form with the \$50.00 filing fee, if no capitalization. A \$50.00 penalty must be added for failure to file this form by the deadline. An annual list received more than 90 days before its due date shall be deemed an amended list for the previous year.

3. Make your check payable to the Secretary of State. Return the completed form to: Secretary of State, 202 North Carson Street, Carson City, Nevada 89701-4201, (775) 684-5708.

4. Form must be in the possession of the Secretary of State on or before the last day of the month in which it is due. (Postmark date is not accepted as receipt date.) Forms received after due date will be returned for additional fees and penalties.

5. **Ordering Copies:** If requested above, one file stamped copy will be returned at no additional charge. To receive a certified copy, enclose an additional \$30.00 per certification. A copy fee of \$2.00 per page is required for each additional copy generated when ordering 2 or more file stamped or certified copies. Appropriate instructions must accompany your order.

FILING FEE: \$50.00 (IF NO CAPITALIZATION) LATE PENALTY: \$50.00 (if filing late)

Filed in the office of <i>Barbara K. Cegavske</i> Barbara K. Cegavske Secretary of State State of Nevada	Document Number 20170336390-94 Filing Date and Time 08/04/2017 4:28 PM Entity Number C16837-1994
----------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------

(This document was filed electronically)
ABOVE SPACE IS FOR OFFICE USE ONLY

Charitable Solicitation Information - check applicable box

Does Organization intend to solicit charitable/tax deductible contributions? No - no additional form required Yes - "Charitable Solicitation Registration Statement" required

Organization claims exemption pursuant to (2015) AB50 15(1) or is recognized as a church under Internal Revenue Code 501(c)(3). Exempt from filing - "Exemption From Charitable Solicitation Registration Statement" required

**** Failure to include the required statement form will result in rejection of the filing and could result in late fees.****

For nonprofit entities formed under NRS Chapter 80: entities without 501(c) nonprofit designation are required to maintain a state business license, the fee is \$200.00. Those claiming an exemption under 501(c) designation must indicate by checking box below and submit Declaration of Eligibility form. **Failure to attach the required notarized Declaration of Eligibility will result in a rejection, which could result in late fees.**

Pursuant to NRS Chapter 76, this entity is a 501(c) nonprofit entity and is exempt from the business license fee. Exemption code 002

NRS Chapter 81 - Nonprofit: entities which are Unit-owners' association or Religious, charitable, fraternal or other organization that qualifies as a tax-exempt organization pursuant to 26 U.S.C. § 501(c) are excluded from the requirement to obtain a state business license. Please indicate below if this entity falls into one of these categories by marking the appropriate box. If the entity does not meet either of these categories please submit \$200.00 for the state business license.

Unit-owners' Association Religious, charitable, fraternal or other organization that qualifies as a tax-exempt organization pursuant to 26 U.S.C. § 501(c)

NAME THOMAS B THOMAS	TITLE(S) PRESIDENT (OR EQUIVALENT OF)
ADDRESS 3935 RAINIER CT	CITY STATE ZIP CODE RENO NV 89508
NAME TERRY L WHITE	TITLE(S) SECRETARY (OR EQUIVALENT OF)
ADDRESS 20913 WHITE ROCK DR	CITY STATE ZIP CODE RENO NV 89508-8068
NAME REBECCA D ARNOLD	TITLE(S) TREASURER (OR EQUIVALENT OF)
ADDRESS 18220 CODY COURT	CITY STATE ZIP CODE RENO NV 89508
NAME CHERIE PRIES	TITLE(S) DIRECTOR
ADDRESS 17735 DAVENPORT LN	CITY STATE ZIP CODE RENO NV 89508

None of the officers or directors identified in the list of officers has been identified with the fraudulent intent of concealing the identity of any person or persons exercising the power or authority of an officer or director in furtherance of any unlawful conduct.

I declare, to the best of my knowledge under penalty of perjury, that the information contained herein is correct and acknowledge that pursuant to NRS 239.330, it is a category C felony to knowingly offer any false or forged instrument for filing in the Office of the Secretary of State.

X REBECCA D ARNOLD Title **TREASURER** Date **8/4/2017 4:28:34 PM**

Signature of Officer or Other Authorized Signature

Nevada Secretary of State List Nonprofit Revised: 10-1-15

WADMIN18-0003 EXHIBIT F

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

- 1. What is the type of project being requested?

A church building

- 2. What currently developed portions of the property or existing structures are going to be used with this permit?

There are currently no developed portions or existing structures of this property.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

A new 8,400 square foot building, parking lot containing 94 spaces, and landscaping will need to be constructed. New plumbing, mechanical, and electrical utilities will need to be installed. The total project is expected to be complete within 12 to 18 months prior to permit approval.

4. What is the intended phasing schedule for the construction and completion of the project?

Underground - 1 month
Foundation - 1 month
Structure - 5 months
Interior finishes - 4 months
Parking lot and landscaping - 2 months

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The location is on a main thoroughfare, it has been equipped with easements, it is adjacent to a public park, and has the potential for landscaping beautification.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

Considering it will be another developed commercial property, this project will beautify the landscaping that is currently a lot that is overtaken by weeds. Along with beautification, it will bring increased patrons to the neighboring stores i.e. Family Dollar and 7-11. Additionally, the presence of another occupied building will influence the potential vandalism and loitering that occurs at the adjacent properties.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

We are proposing to expand the width of the main entrance into the property that is currently shared between Cold Springs Valley Church and Family Dollar. This will minimize parking lot congestion by maximizing entrance and exit possibilities. In regard to the potential human waste i.e. trash, we intend to provide trash cans around the property to limit littering and build up of wind blown trash.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

We will have "church cleanups" which mandates regular (quarterly) maintenance of the property that is additional to the routine maintenance. These cleanups would include but are not limited to cleaning up trash, trimming shrubs and trees, painting the structure, and pulling weeds to ensure the property is representative of the community. We intend to build a steel and woodstone structure to limit material waste and to provide more eco-friendly material that allows opportunity for beautification. In regard to occupation, church services are to be held within regular public hours to avoid public nuisances.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

94 parking spaces will be provided
Please see elevations.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

- Evergreens, other trees, and shrubs that do not require large quantities of water.
- Flower beds containing mulch
- Sidewalks
- Parking space buffers
- Turf areas

The exterior of the structure will contain a green colored roof, tan walls with stone facing wainscotting.

Please see site plan for location of landscaping.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

There will be parking lot lighting on the building. Additionally there will 1 lit ground sign at the main entrance.

Please see plans for locations.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	----------------------------------------

13. Utilities:

a. Sewer Service	Washoe County
b. Electrical Service	NV Energy
c. Telephone Service	AT & T or Charter
d. LPG or Natural Gas Service	LPG - Eagle Energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	N/A
g. Water Service	Great Basin Water

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Rights are already dedicated.

14. Community Services (provided and nearest facility):

a. Fire Station	3680 Diamond Peak Dr, Reno, NV 89508 (.6 miles)
b. Health Care Facility	1075 N Hills Blvd, Reno, NV 89506
c. Elementary School	3870 Limkin St, Reno, NV 89508 (.6 miles)
d. Middle School	18235 Cody Ct, Reno, NV 89508 (3.7 miles)
e. High School	1470 E Golden Valley Rd, Reno, NV 89506
f. Parks	3355 White Lake Pkwy, Reno, NV 89508 (295 feet)
g. Library	1075 N Hills Blvd, Reno, NV 89506
h. Citifare Bus Stop	Echo Avenue and Moya Blvd. (8.2 miles)

6. What will you do to minimize the anticipated negative impacts or effect your waiver will have on adjacent properties?

7. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan)

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

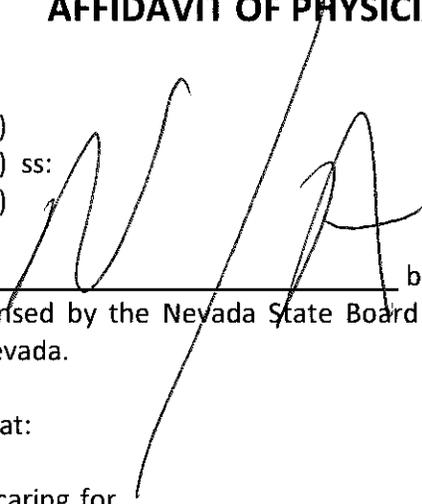
<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

9. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**TEMPORARY OCCUPANCY
for the Care of the Infirm
AFFIDAVIT OF PHYSICIAN**

STATE OF NEVADA)
) ss:
COUNTY OF WASHOE)



I, _____ being duly sworn, depose, and say that I am a physician licensed by the Nevada State Board of Medical Examiners to practice medicine in the State of Nevada.

I further swear or affirm that:

I am a licensed physician caring for _____ and am personally familiar with his/her physical and medical condition and its impact on his/her life functions; and,

That _____ suffers from physical and medical condition(s) that severely impair his/her ability to live alone and care for himself/herself and he/she needs to have a person living on the premises/property where he/she lives in order to provide care and assistance to him/her

Signed _____

State of Nevada License Number _____

Subscribed and sworn to before me this _____ day of _____, 20____

Notary Public in and for said county and state

My commission expires: _____

This Physician's Affidavit is required to be submitted with the Administrative Permit application for Temporary Occupancy for the Care of the Infirm pursuant to WCC Section 110.310.35(g). If the Administrative Permit is approved, a new affidavit must be submitted with each annual renewal.

WASHOE COUNTY TREASURER

PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

Received By: smartell Receipt Number: U17.19050
 Location: Treasurer's Office Receipt Year: 2017
 Session: SMartell-0-01172018 Date Received: 01/17/2018

PAYMENT RECEIPT

Type	Description	Balance	Net Tax	Interest	Fees Penalties	Current Due	Current Paid	Balance Remaining
Real	Bill Number: 2017175396 Bill Year: 2017 PIN: 08703124 Primary Owner: COLD SPRINGS VALLEY CHURCH Property Addr: 3375 WHITE LAKE PKWY Property Desc: Township 21 Section 21 Lot 2-B Block Range 18 SubdivisionName _	222.97	218.60	0.00	4.37	222.97	222.97	0.00
Totals:		222.97	218.60	0.00	4.37	222.97	222.97	0.00
Tender Information:		Charge Summary:						
Check #9a/003498		218.60	Real					222.97
Cash		4.37						
Total Tendered		222.97	Total Charges					222.97

WASHOE COUNTY TREASURER PO BOX 30039 RENO, NV 89520-3039

By Whom Paid:

COLD SPRINGS VALLEY CHURCH
 PO BOX 61447
 RENO NV 89506

PAID

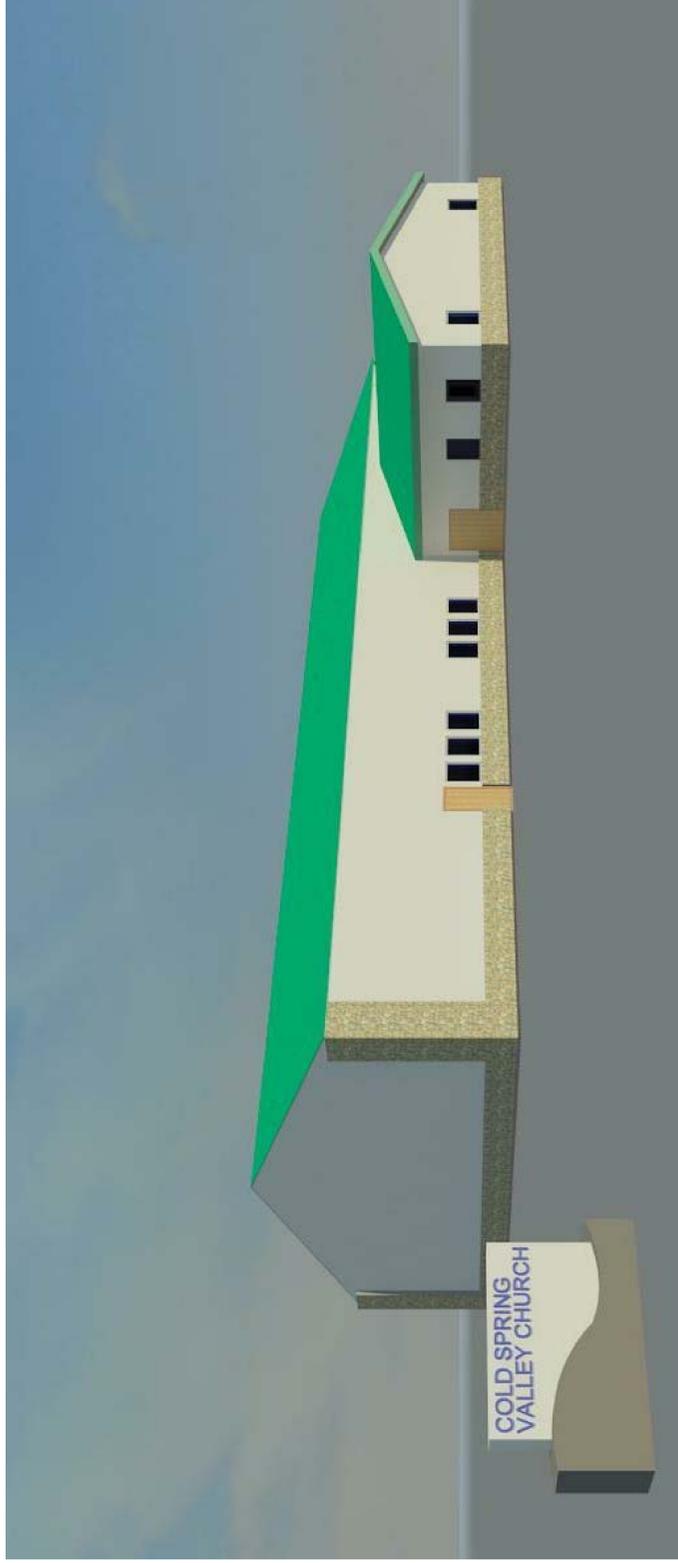
JAN 16 2018

W. C. T. O. 27

BALANCE REMAINING	0.00
CHARGES	222.97
PAID	222.97
CHANGE	0.00

**WADMIN18-0003
 EXHIBIT F**

COLD SPRINGS VALLEY CHURCH



STAR BUILDERS
 NV Lic. # 70149
 Tom Thomas
 Phone: 775.745.6127

COLD SPRINGS VALLEY CHURCH
 3375 WHITE LAKE PARKWAY
 COLD SPRINGS VALLEY, NEVADA 89508

Date
 2/14/17

A0.0

GENERAL NOTES:

1. THESE GENERAL NOTES PERTAIN TO WORK DESCRIBED ON ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND SHOP DRAWINGS UNLESS NOTED OTHERWISE.
2. THE DRAWINGS INDICATE NEW WORK TO BE PERFORMED AND DO NOT PURPORT TO SHOW ALL EXISTING CONDITIONS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND INVESTIGATE ALL EXISTING CONDITIONS WHICH MAY AFFECT THE COURSE OF WORK. CONTRACTOR SHALL REPORT ALL DISCREPANCIES AND UNACCEPTABLE CONDITIONS PRIOR TO BID. NO CHANGE ORDERS WILL BE PERMITTED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
3. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE ASSEMBLY AND PROJECT IN ACCORDANCE TO THE CONSTRUCTION DOCUMENTS.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUB-CONTRACTOR(S), MATERIALS, AND INSTALLATION FOR THIS PROJECT.
5. IF CONFLICTS OCCUR WITHIN THE CONSTRUCTION DOCUMENTS THAT MAY MATERIALLY AFFECT THE QUALITY OR EXTENT OF THE WORK, SUCH CONFLICT SHALL BE RESOLVED TO THE SATISFACTION OF THE ARCHITECT BEFORE THE AFFECTED ITEMS AND/OR MATERIAL ARE PURCHASED, FABRICATED AND/OR INSTALLED.
6. FIELD VERIFY ROUGH AND/OR FINISHED DIMENSIONS PRIOR TO PURCHASE OR FABRICATION OF PRE-MANUFACTURED OR PREFABRICATED ITEMS.
7. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODE AND ALL OTHER APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS.
8. THE GENERAL CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY FIVE (5) WORKING DAYS MINIMUM PRIOR TO BEGINNING WORK IN THE VICINITY OF EXIST. UTILITY LINES. SUFFICIENT TIME SHALL BE ALLOCATED TO THE UTILITY COMPANY TO EXECUTE THE PROPER RELOCATION OR ADJUSTMENT OF THEIR UTILITY. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF UTILITY, WATER AND GAS LINES WITH THE UTILITY COMPANY.
10. NOTED DIMENSION TAKE PRECEDENCE OVER SCALED DIMENSIONS.
11. CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL PROMPTLY REMEDY ANY DEFECTS AND ANY SUBSEQUENT DAMAGE CAUSED BY THE DEFECTS OR REPAIRS THEREOF. AT NO EXPENSE TO THE OWNER.
12. ALL EXISTING EQUIPMENT REMOVED DURING THE COURSE OF CONSTRUCTION SHALL BE OFFERED TO THE OWNER FOR SALVAGE. ANY EQUIPMENT SELECTED FOR SALVAGE BY THE OWNER SHALL BE REMOVED FROM THE SITE. ALL REMAINING EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.

PROJECT NOTES:

NOTE:
 FIRE SPRINKLER AND FIRE ALARM SYSTEM UNDER SEPARATE PERMIT

CODE SUMMARY:

OCCUPANCY CLASSIFICATION:	A3
CONSTRUCTION TYPE:	TYPE 5 NR
SANCTUARY / CLASSROOM AREA:	7,200 S.F.
FELLOWSHIP AREA:	1,200 S.F.
TOTAL FLOOR AREA:	8,400 S.F.
SPRINKLED:	YES
TOTAL OCCUPANT LOAD:	384 OCC.
PARKING - SEE CIVIL DRAWINGS FOR PARKING INFORMATION	
APPLICABLE CODES	
BUILDING:	2012 INTERNATIONAL BUILDING CODE
FIRE ALARM:	2012 INTERNATIONAL FIRE ALARM CODE
ELECTRICAL:	2014 NATIONAL ELECTRICAL CODE
MECHANICAL:	2012 UNIFORM MECHANICAL CODE
PLUMBING:	2012 UNIFORM PLUMBING CODE
* DESIGN MEETS WASHOE COUNTY DEVELOPMENT CODE	
THE LATEST EDITIONS OF CODES AND REGULATIONS ADOPTED BY GOVERNING AUTHORITIES AND BARRETT TREE DESIGN RULES AS CONTAINED IN THE STATE REGULATIONS WITH AMENDMENTS.	
DESCRIPTION OF WORK	
CHURCH - METAL BUILDING W/ WOOD-FRAMED WALLS WITH STUCCO FINISH	
THIS SET OF PLANS TO BE ON-JOB SITE AT ALL TIMES DURING CONSTRUCTION. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL.	

APN #087-031-24

DRAWING INDEX:

L1	LANDSCAPE PLAN: LANDSCAPE PLAN / IRRIGATION PLAN
U1	UTILITY PLAN: UTILITY PLAN
A0	ARCHITECTURAL: COVER SHEET, CODE SUMMARY, GENERAL NOTES,
A0.1	EXITING PLAN
A1.0	SITE PLAN
A2.0	OVERALL FLOOR PLAN
A2.1	FIRST FLOOR ENLARGED FLOOR PLAN - CLASS ROOM AREA
A2.2	FIRST FLOOR ENLARGED FLOOR PLAN - SANCTUARY AREA
A2.3	SECOND FLOOR ENLARGED PLANS
A3.0	BUILDING SECTIONS
A3.1	WALL SECTIONS
A4.0	EXTERIOR ELEVATIONS - EAST / SOUTH
A4.1	EXTERIOR ELEVATIONS - WEST / NORTH
A5.0	REFLECTED CEILING PLAN
M1.0	ENGINEERING: MECHANICAL PLANS
P1.0	PLUMBING PLANS
E	ELECTRICAL PLANS

A1.0

2/14/17

Date

COLD SPRINGS VALLEY CHURCH

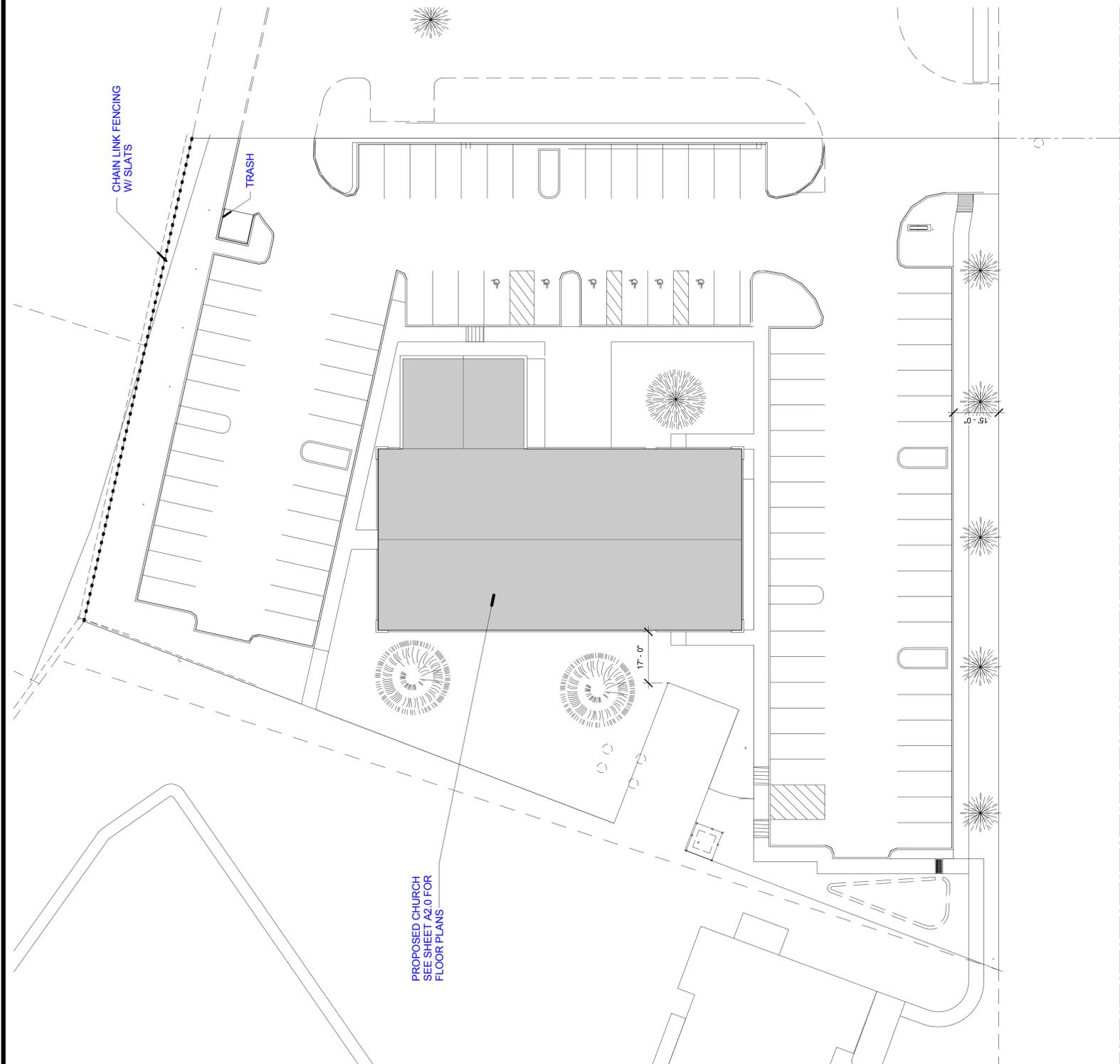
3375 WHITE LAKE PARKWAY

COLD SPRINGS VALLEY, NEVADA 89508

STAR BUILDERS

NV. Lic. # 70149

Tom Thomas
Phone: 775.745.6127



SITE PLAN NOTE:
DRAWING FOR REFERENCE ONLY - SEE CIVIL
DRAWINGS FOR ADDITIONAL INFORMATION

1 ARCHITECTURAL SITE PLAN

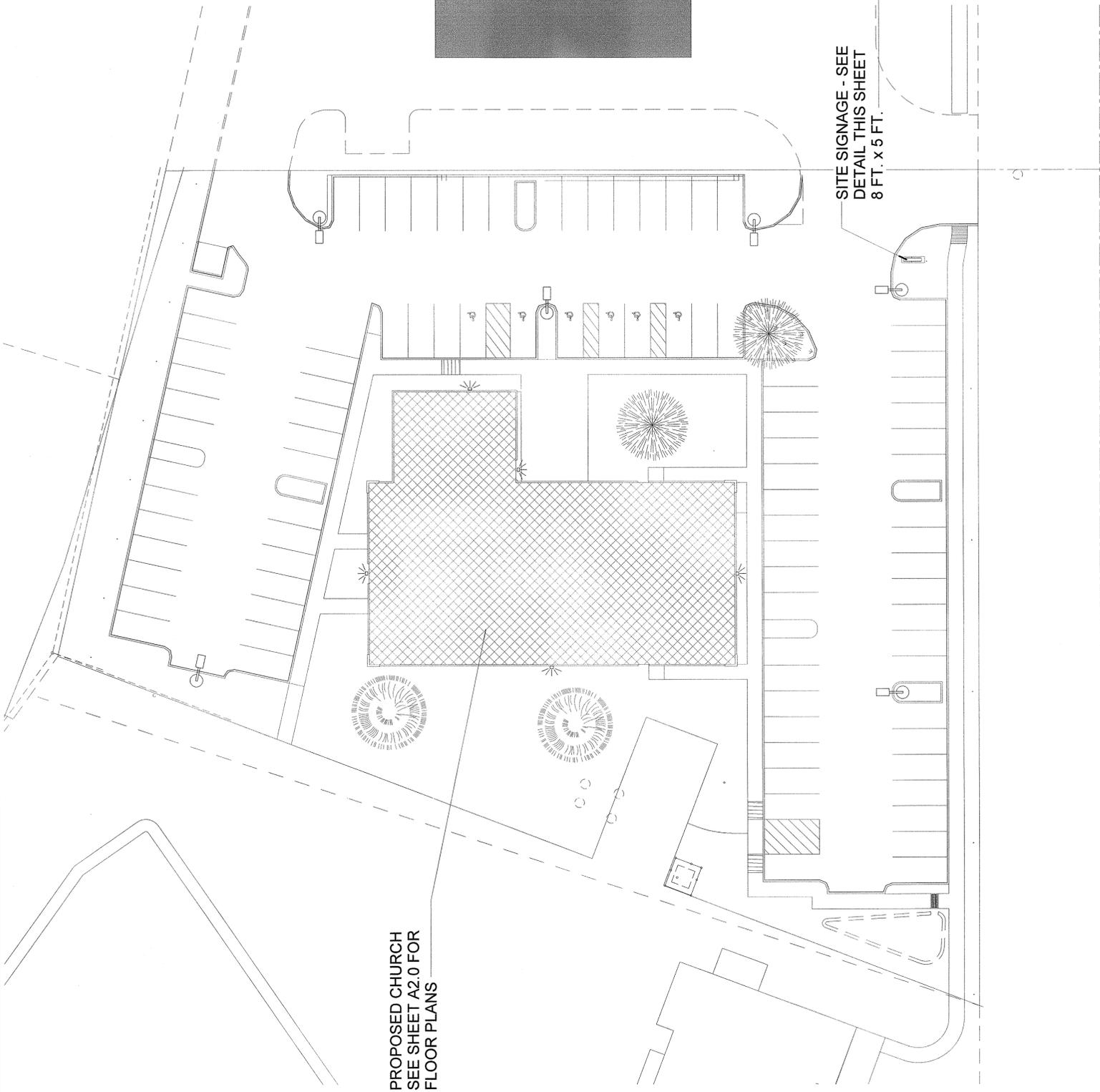
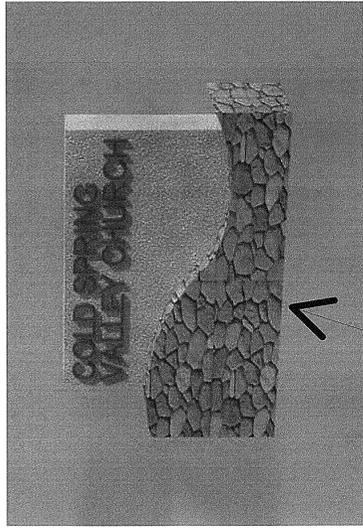
1" = 20'-0"



COLD SPRINGS VALLEY CHURCH
3375 WHITE LAKE PARKWAY
COLD SPRINGS VALLEY, NEVADA 89508

Date 8/31/2017

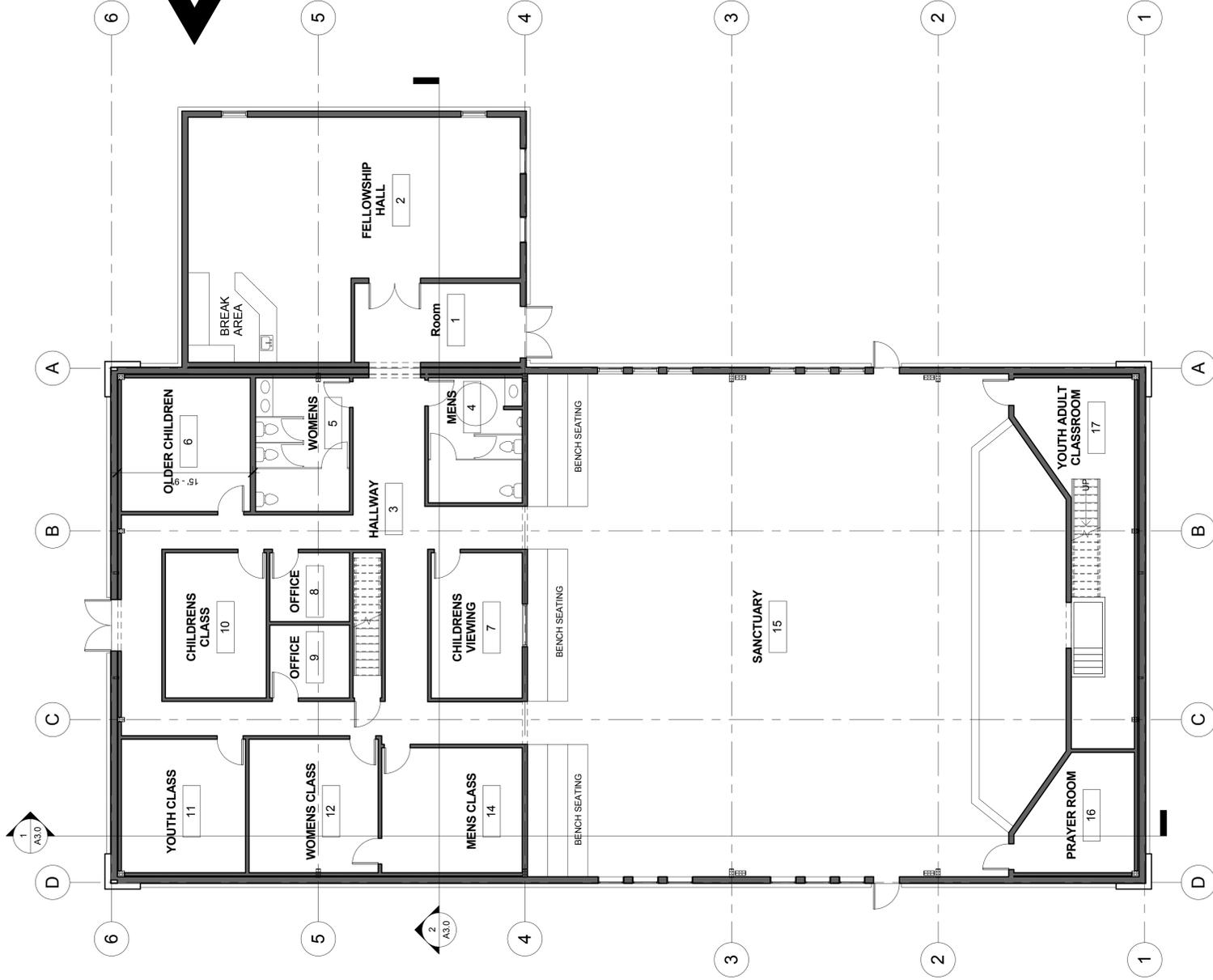
A1.2



PROPOSED CHURCH
SEE SHEET A2.0 FOR
FLOOR PLANS

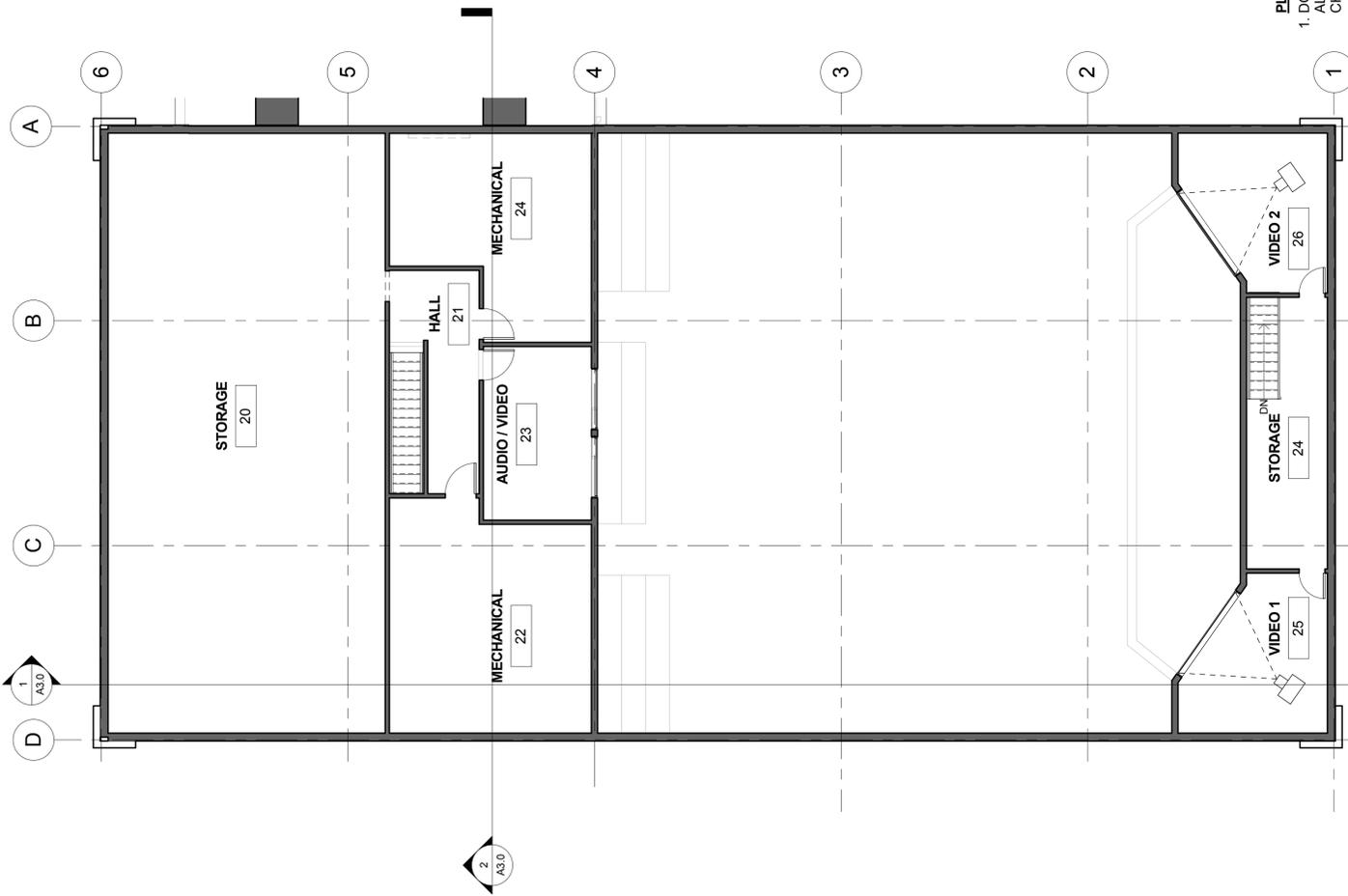
SITE SIGNAGE - SEE
DETAIL THIS SHEET
8 FT. x 5 FT.

1 SIGNAGE PLAN
1" = 20'-0"



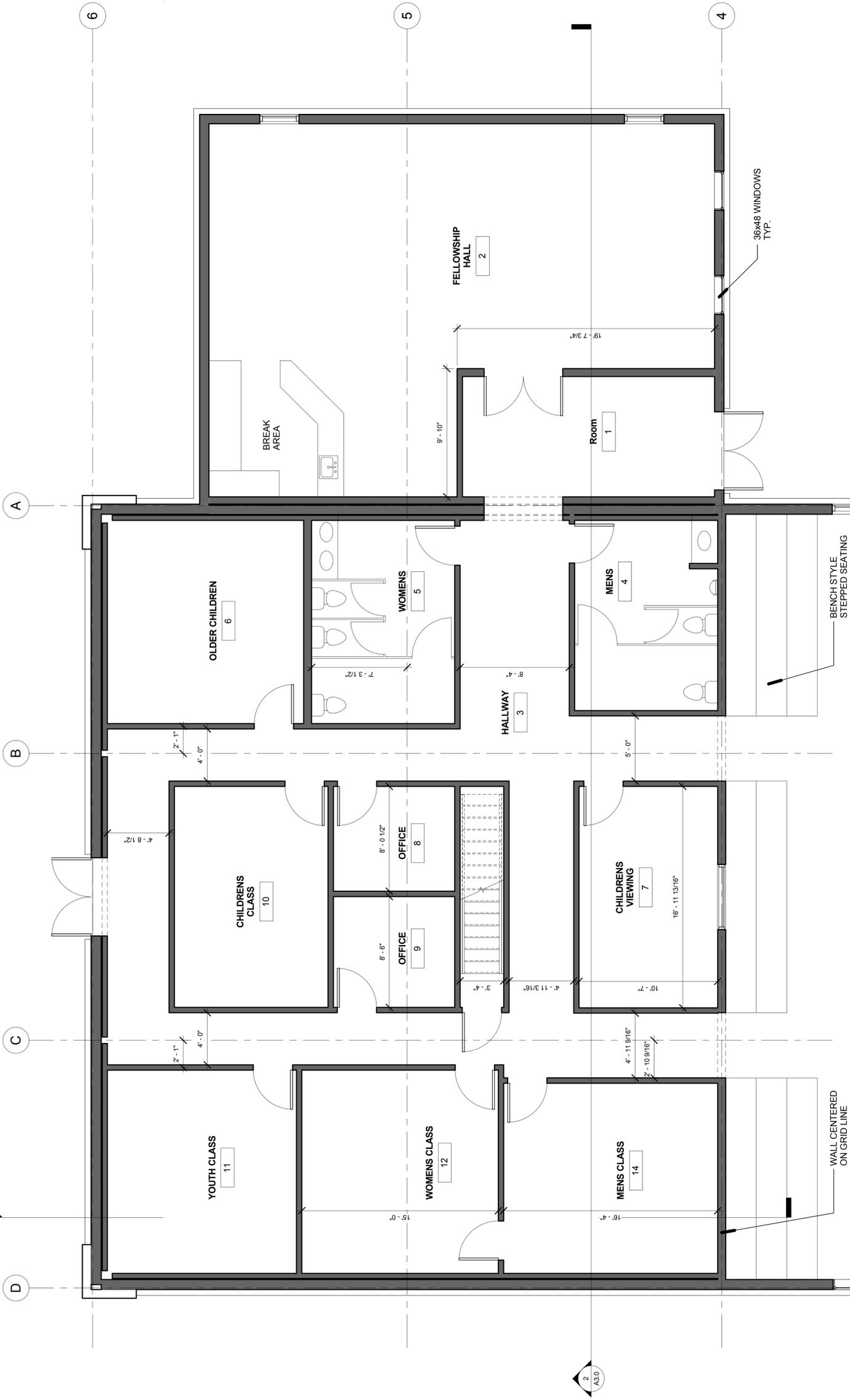
NOTE:
SEE STRUCTURAL DRAWINGS FOR
OVERALL BUILDING DIMENSIONS

1 FIRST FLOOR
1/8" = 1'-0"



2 SECOND FLOOR
1/8" = 1'-0"

- PLAN NOTES:**
- DOORS: ALL DOORS TO BE 3070 SC UNO. ALL DOOR HARDWARE & LOCKS TO COMPLY W/ CHAPTER 10 OF THE 2012 IBC.
 - STAIRS - 11" MIN. TREADS AND 7" MAX. RISERS. HANDRAILS - 1 1/2" DIA HANDRAIL MOUNTED TO WALL BLOCKING AT 36" HIGH AND COMPLY WITH CHAPTER 10 OF THE 2012 IBC.
 - MEN'S AND WOMEN'S RESTROOMS: SHALL BE ADA ACCESSIBLE AND COMPLY W/ ICC A117.1 - 2009
 - BABY CHANGING TABLE TO BE INSTALLED IN MEN'S AND WOMEN'S RESTROOMS MOUNTED AT A HEIGHT OF 34" MAX. A.F.F.



1 ENLARGED FIRST FLOOR PLAN - ENTRY, FELLOWSHIP & OFFICES
1/4" = 1'-0"

A2.2

2/14/17

Date

COLD SPRINGS VALLEY CHURCH

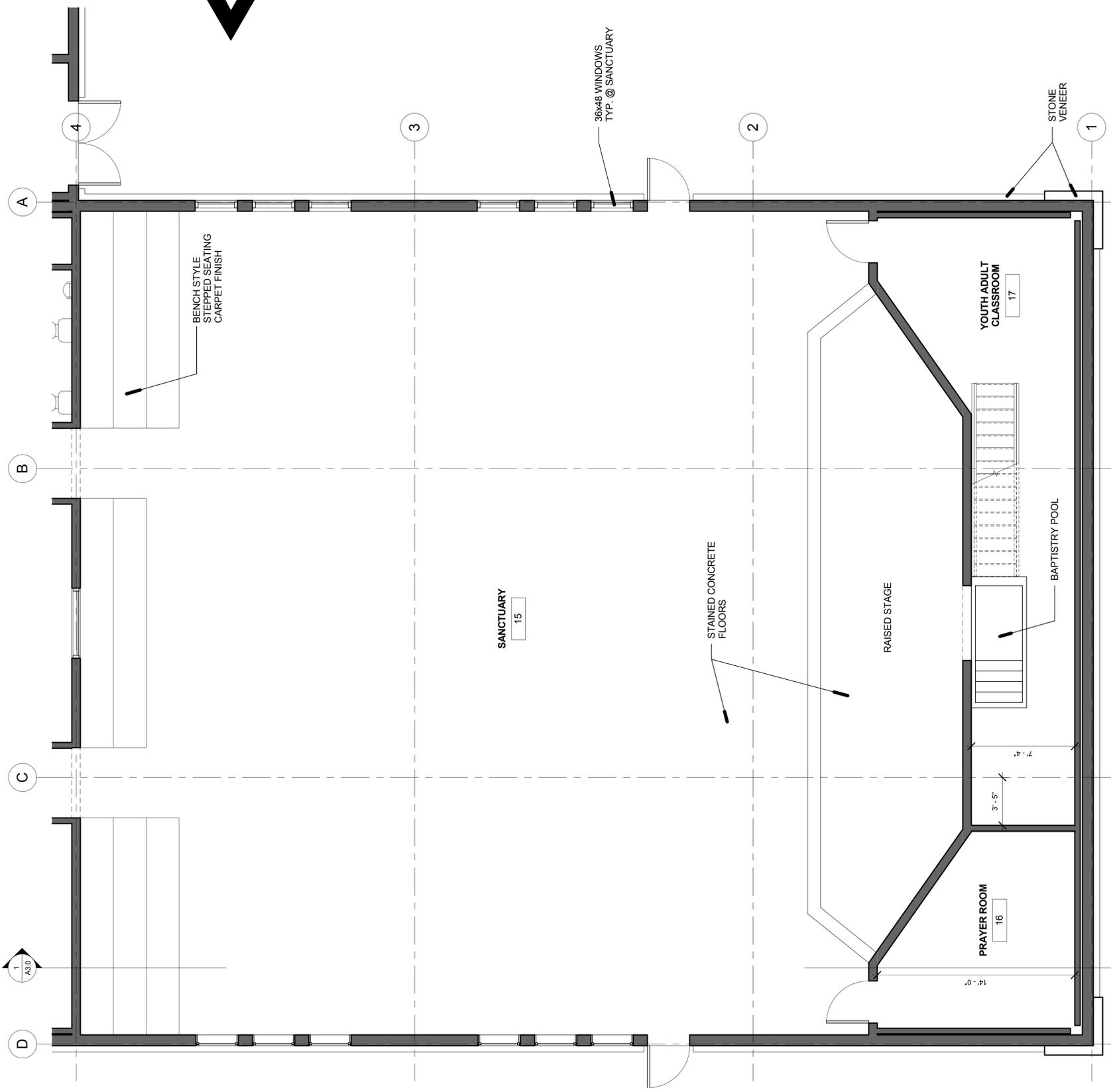
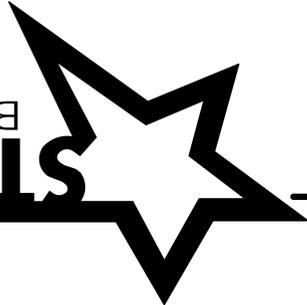
3375 WHITE LAKE PARKWAY

COLD SPRINGS VALLEY, NEVADA 89508

STAR BUILDERS

NV. Lic. # 70149

Tom Thomas
Phone: 775.745.6127



1 ENLARGED FIRST FLOOR PLAN - SANCTUARY

1/4" = 1'-0"

A2.3

Date 2/14/17

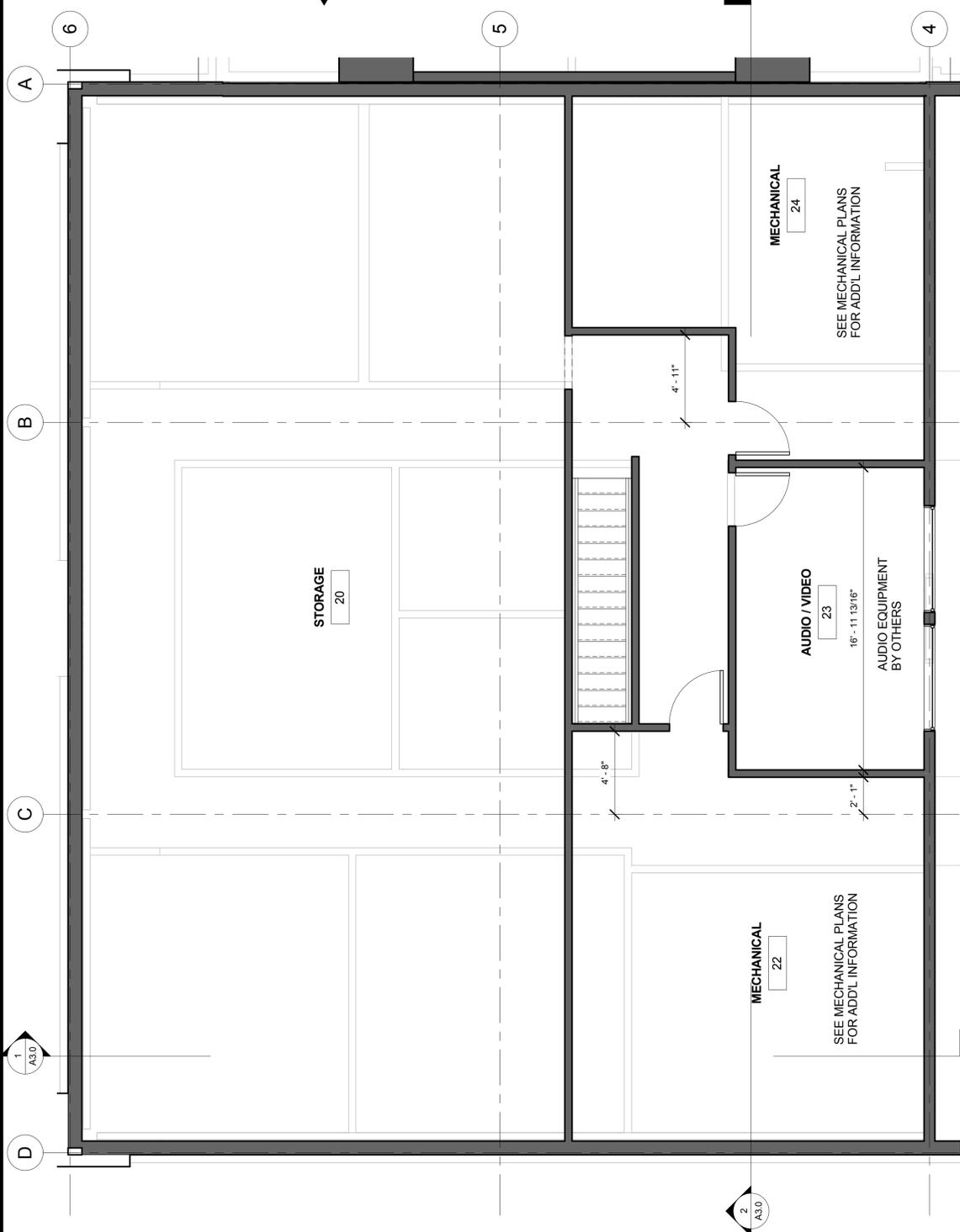
COLD SPRINGS VALLEY CHURCH

3375 WHITE LAKE PARKWAY

COLD SPRINGS VALLEY, NEVADA 89508

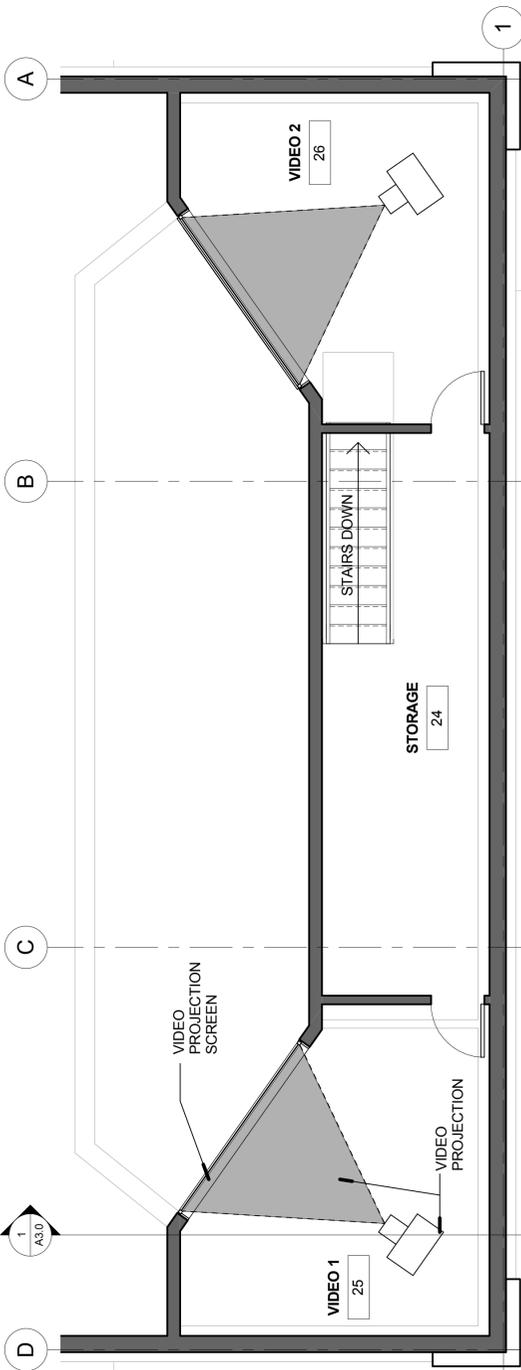
STAR BUILDERS
NV. Lic. # 70149

Tom Thomas
Phone: 775.745.6127



1 ENLARGED SECOND FLOOR PLAN - OFFICE / STORAGE AREA

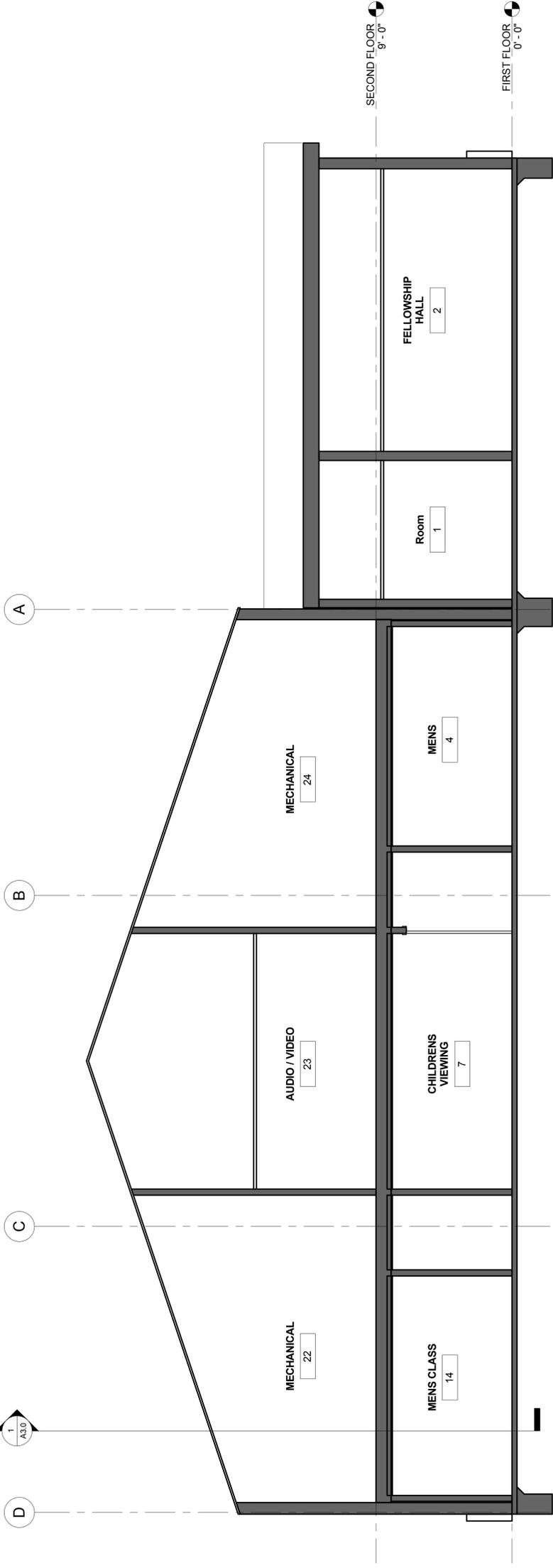
1/4" = 1'-0"



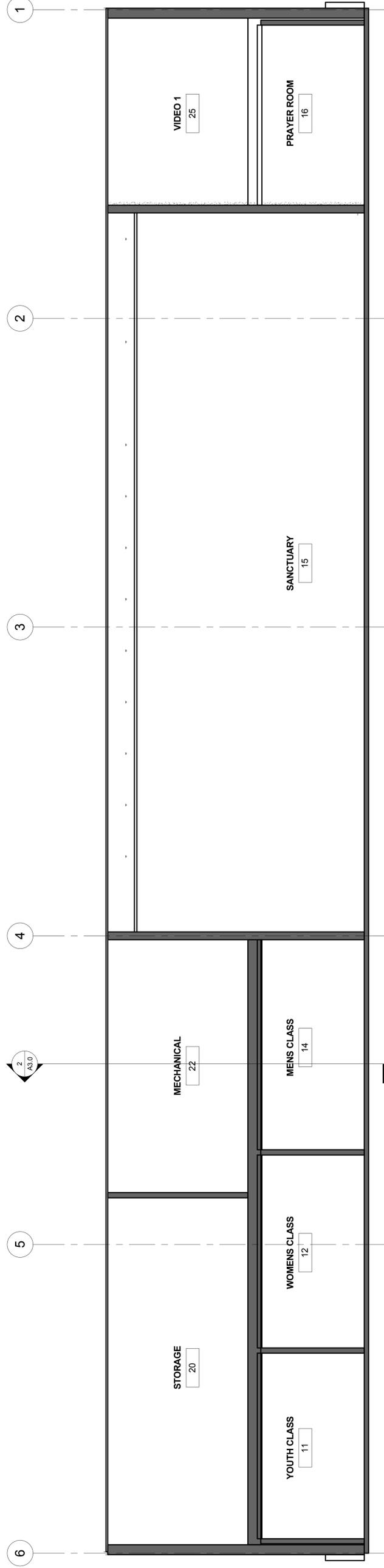
2 ENLARGED SECOND FLOOR - PROJECTION SCREEN ROOMS

1/4" = 1'-0"

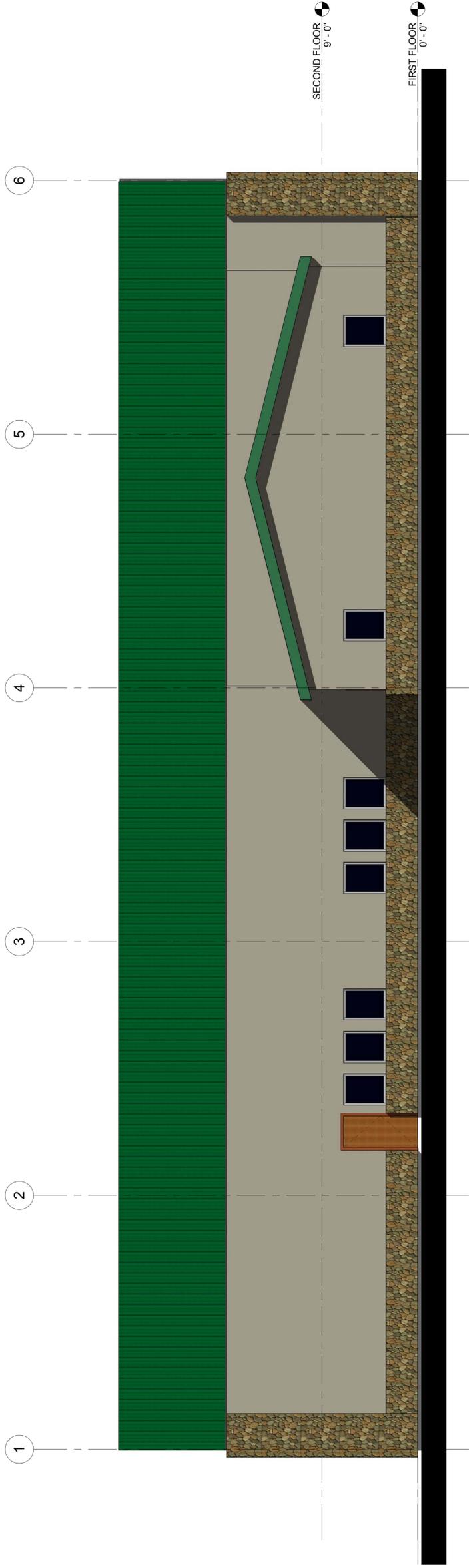




2 Section 2
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

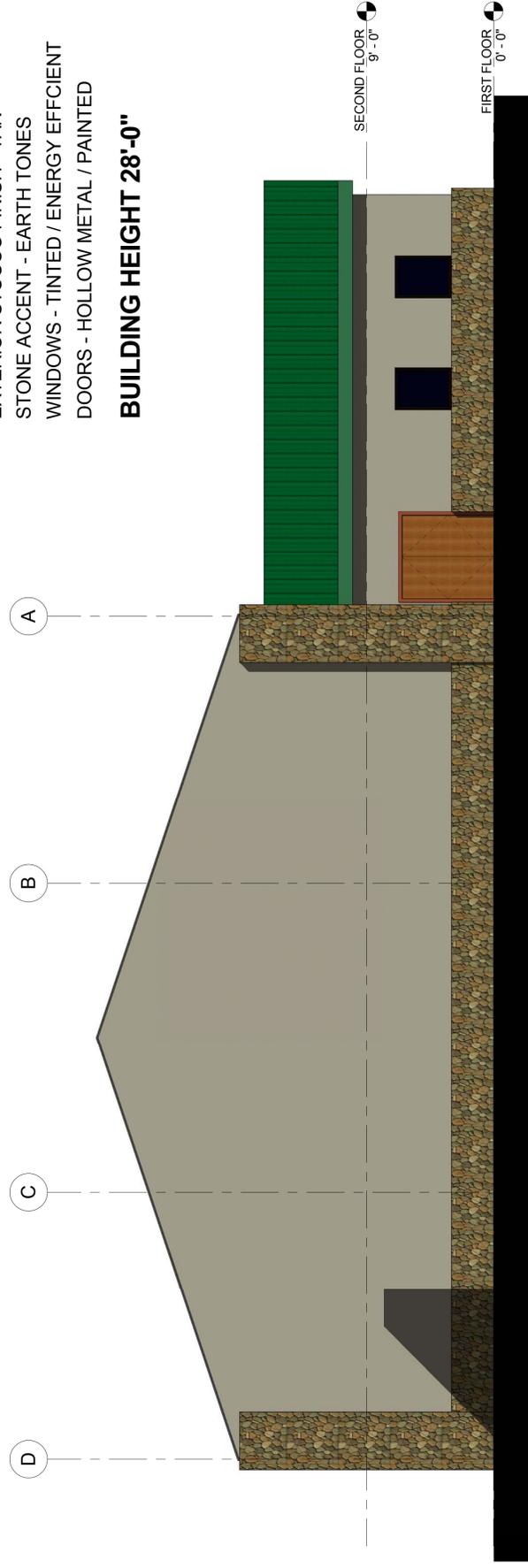


1 East Elevation
3/16" = 1'-0"

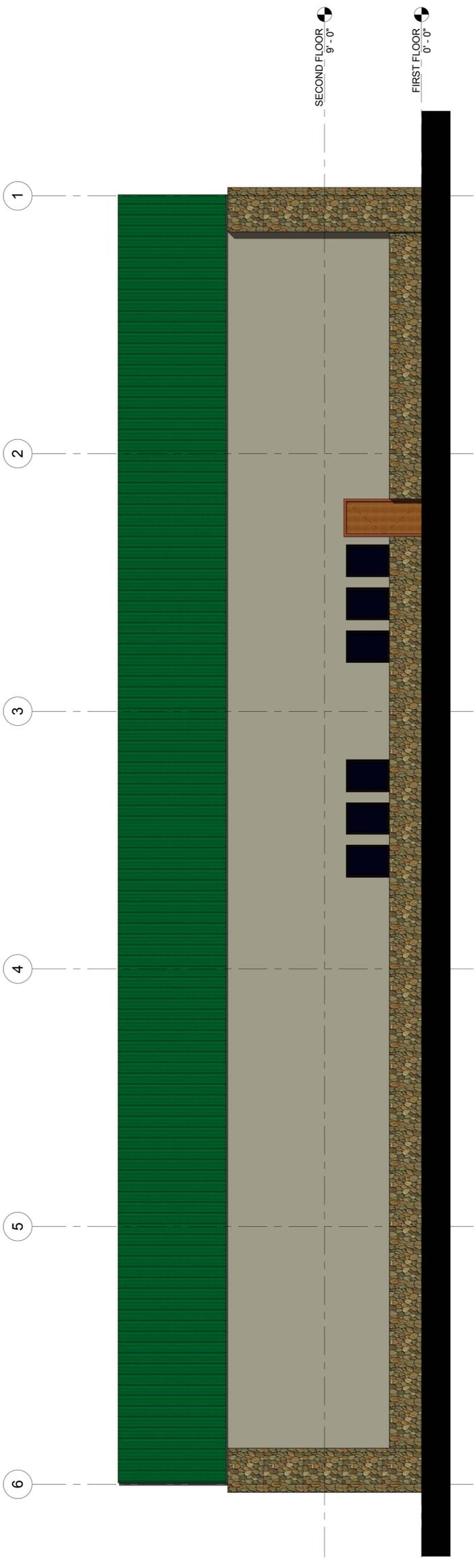
EXTERIOR MATERIALS

- METAL ROOFING - GREEN
- EXTERIOR STUCCO FINISH - TAN
- STONE ACCENT - EARTH TONES
- WINDOWS - TINTED / ENERGY EFFICIENT
- DOORS - HOLLOW METAL / PAINTED

BUILDING HEIGHT 28'-0"

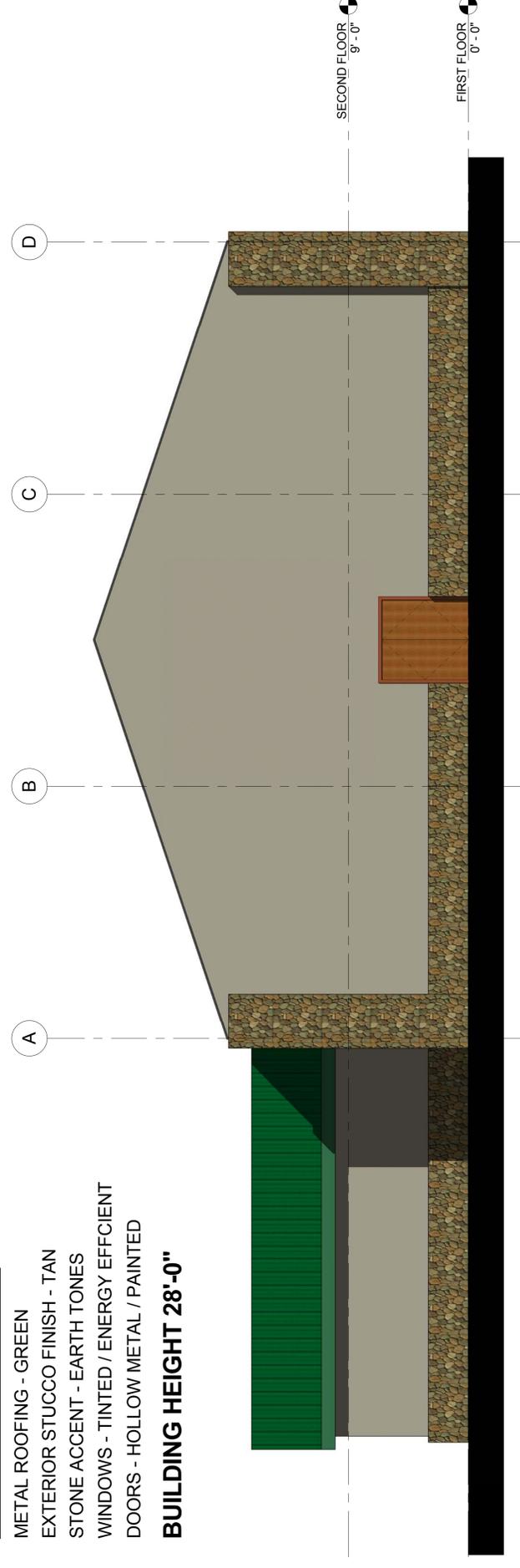


2 South Elevation
3/16" = 1'-0"



1 West Elevation
3/16" = 1'-0"

EXTERIOR MATERIALS
 METAL ROOFING - GREEN
 EXTERIOR STUCCO FINISH - TAN
 STONE ACCENT - EARTH TONES
 WINDOWS - TINTED / ENERGY EFFICIENT
 DOORS - HOLLOW METAL / PAINTED
BUILDING HEIGHT 28'-0"



2 North Elevation
3/16" = 1'-0"

A5.0

Date 2/14/17

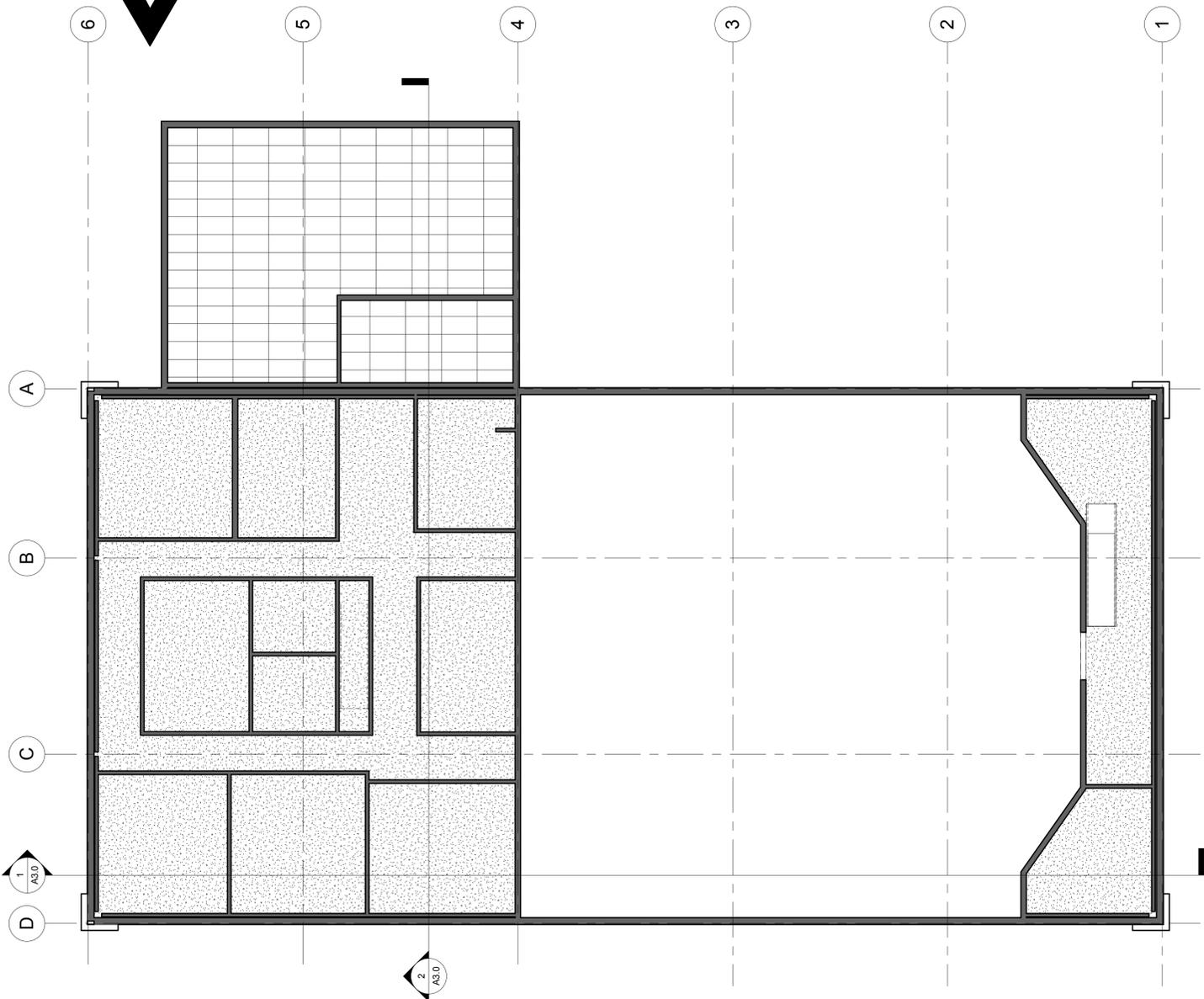
COLD SPRINGS VALLEY CHURCH

3375 WHITE LAKE PARKWAY

COLD SPRINGS VALLEY, NEVADA 89508

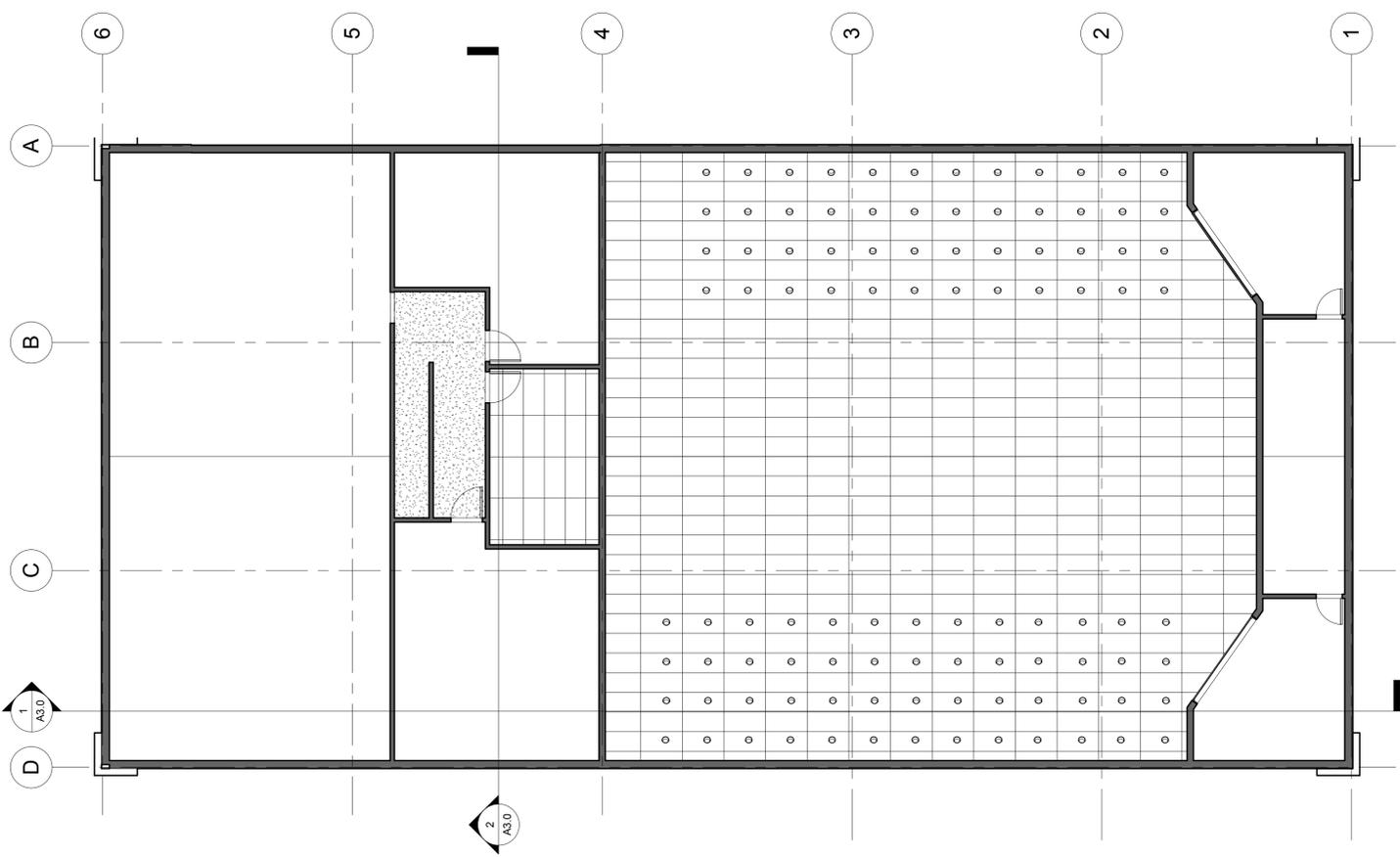
STAR BUILDERS
NV. Lic. # 70149

Tom Thomas
Phone: 775.745.6127



1 FIRST FLOOR

1/8" = 1'-0"

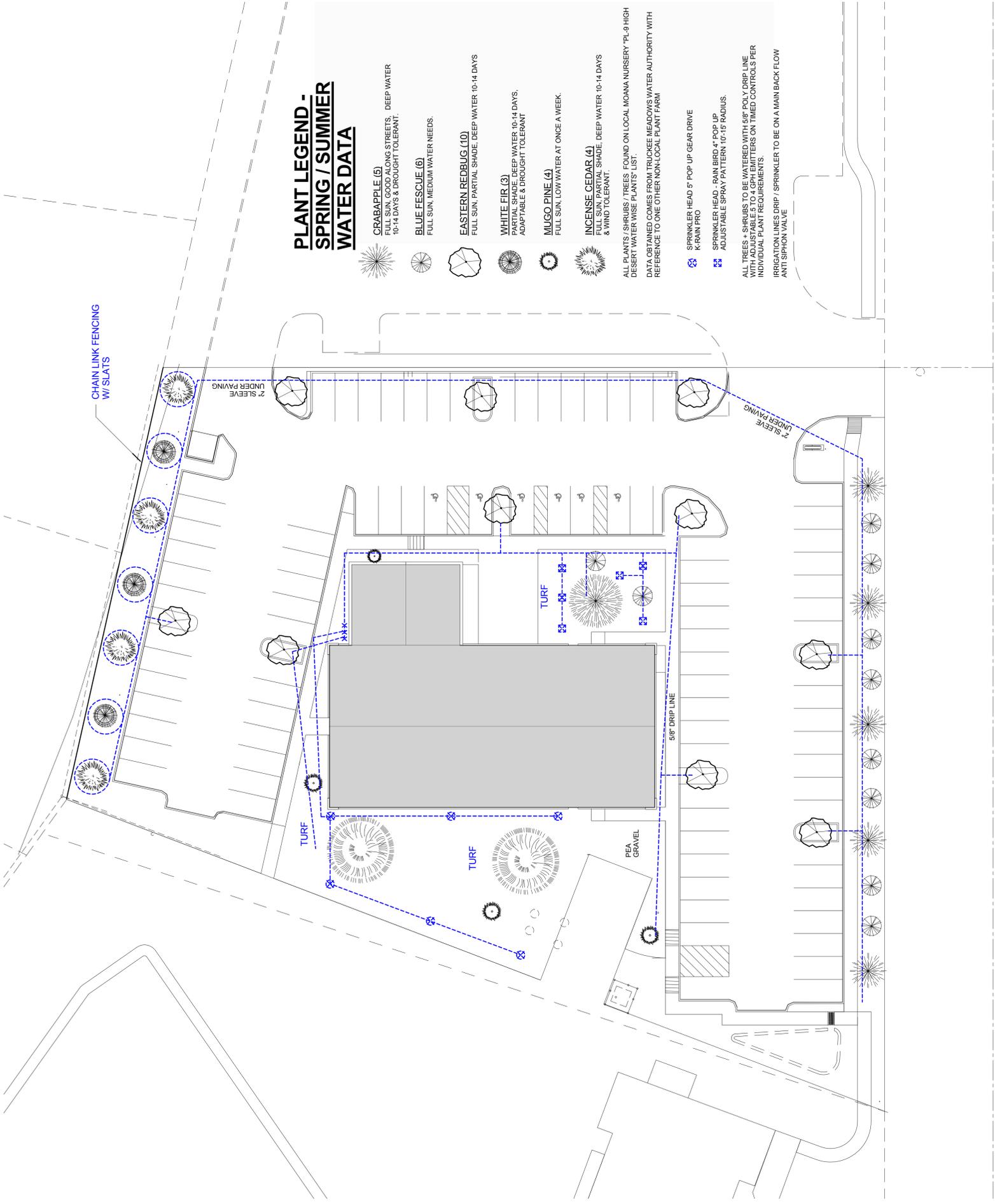


2 SECOND FLOOR

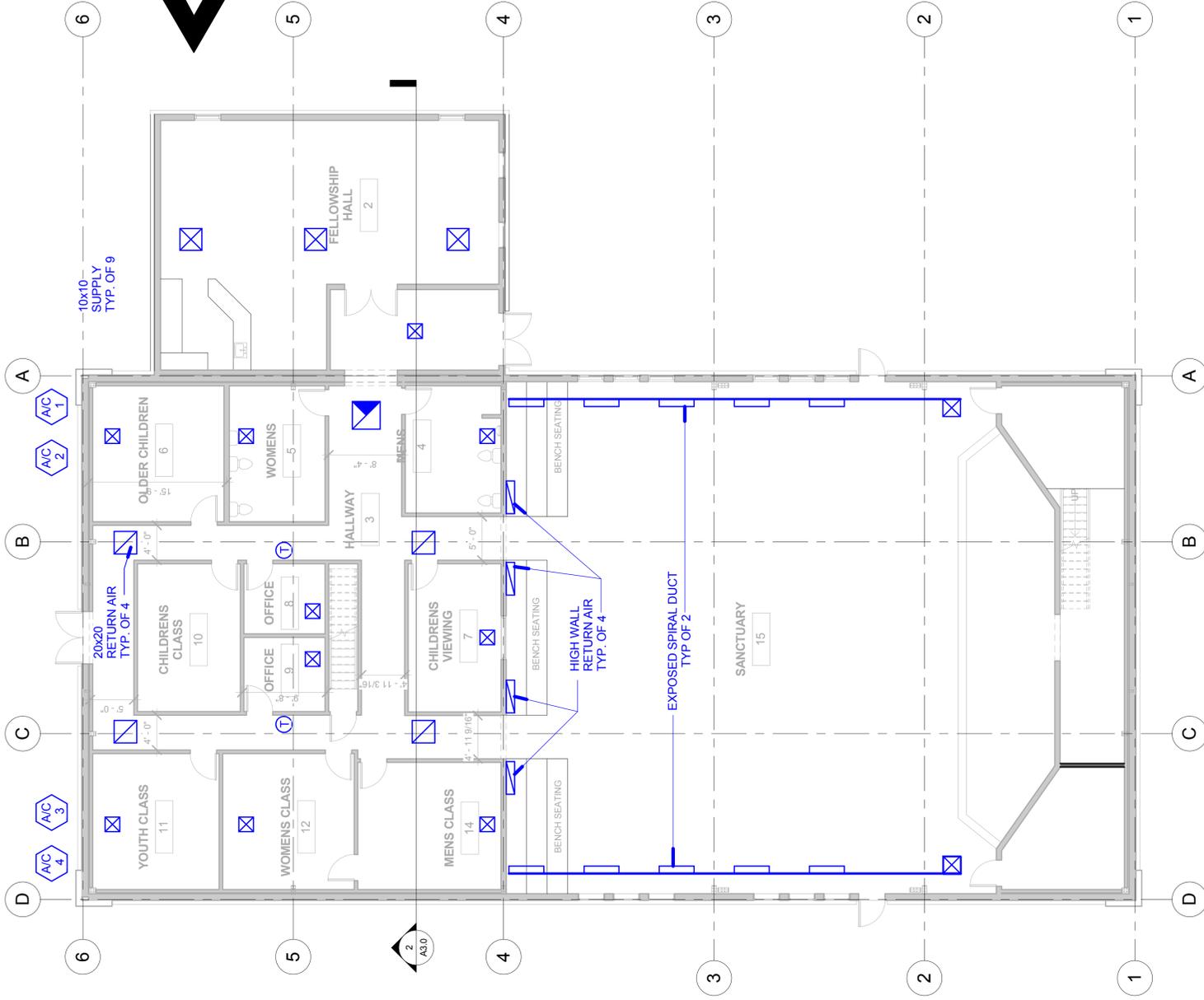
1/8" = 1'-0"

**PLANT LEGEND -
SPRING / SUMMER
WATER DATA**

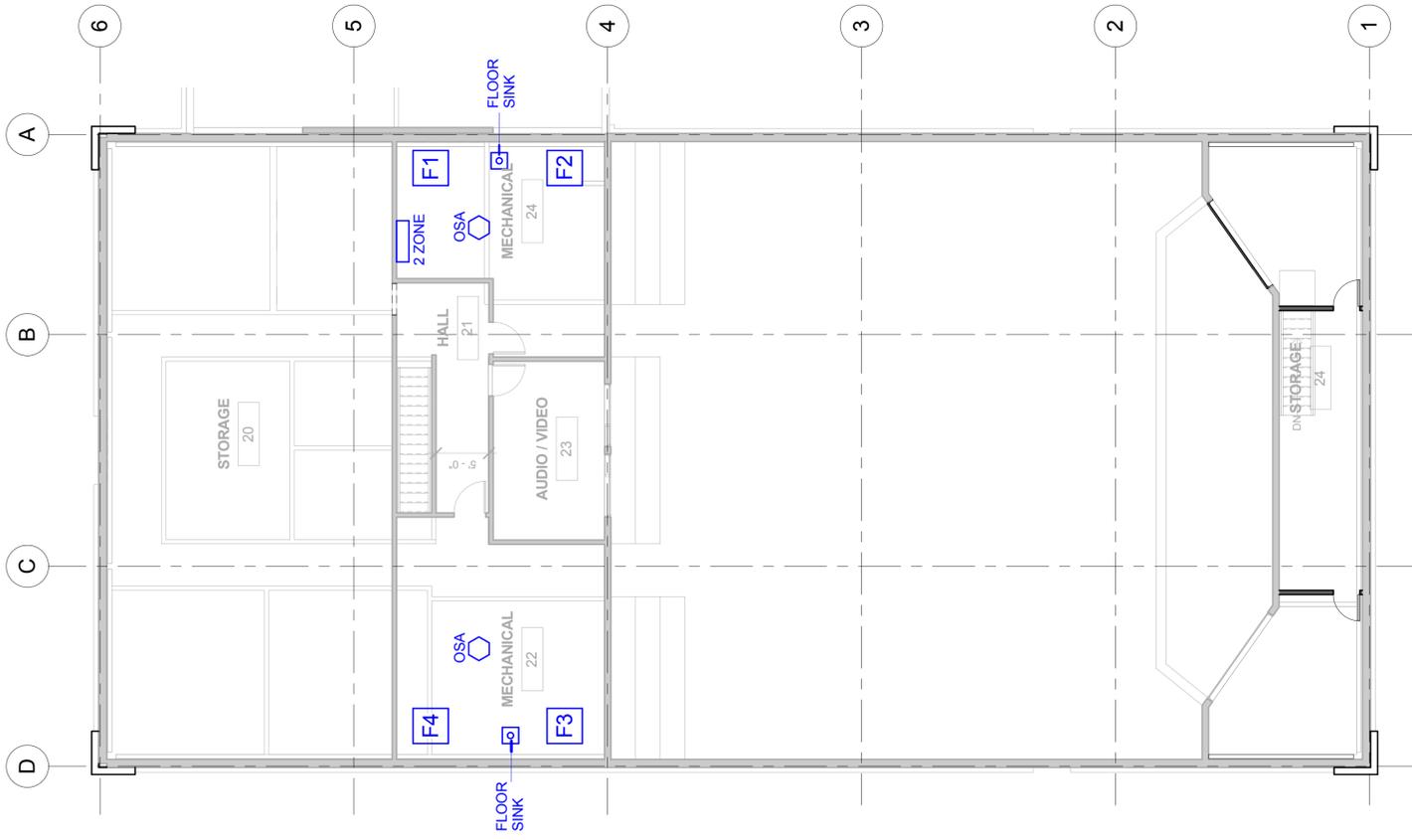
-  **CRABAPPLE (5)**
FULL SUN, GOOD DRAINING STREETS, DEEP WATER 10-14 DAYS & DROUGHT TOLERANT.
 -  **BLUE FESCUE (6)**
FULL SUN, MEDIUM WATER NEEDS.
 -  **EASTERN REDBUG (10)**
FULL SUN, PARTIAL SHADE, DEEP WATER 10-14 DAYS
 -  **WHITE FIR (3)**
PARTIAL SHADE, DEEP WATER 10-14 DAYS, ADAPTABLE & DROUGHT TOLERANT
 -  **MUGO PINE (4)**
FULL SUN, LOW WATER AT ONCE A WEEK.
 -  **INCENSE CEDAR (4)**
FULL SUN PARTIAL SHADE, DEEP WATER 10-14 DAYS & WIND TOLERANT.
- ALL PLANTS / SHRUBS / TREES FOUND ON LOCAL MOAMA NURSERY PL-9 HIGH DESERT WATER WISE PLANTS' LIST.
DATA OBTAINED COMES FROM TRUCKEE MEADOWS WATER AUTHORITY WITH REFERENCE TO ONE OTHER NON-LOCAL PLANT FARM.
-  **SPRINKLER HEAD 5' POP UP GEAR DRIVE K-RAIN PRO**
 -  **SPRINKLER HEAD - RAIN BIRD 4' POP UP ADJUSTABLE SPRAY PATTERN 10-15' RADIUS.**
- ALL TREES - SHRUBS TO BE WATERED WITH 5/8" POLY DRIP LINE WITH 1/2" SPACING. ALL PLANTS ON TYPED CONTROLS PER INDIVIDUAL PLANT REQUIREMENTS.
IRRIGATION LINES DRIP / SPRINKLER TO BE ON A MAIN BACK FLOW ANTI SIPHON VALVE



1 ARCHITECTURAL LANDSCAPE PLAN / IRRIGATION PLAN
1" = 20'-0"



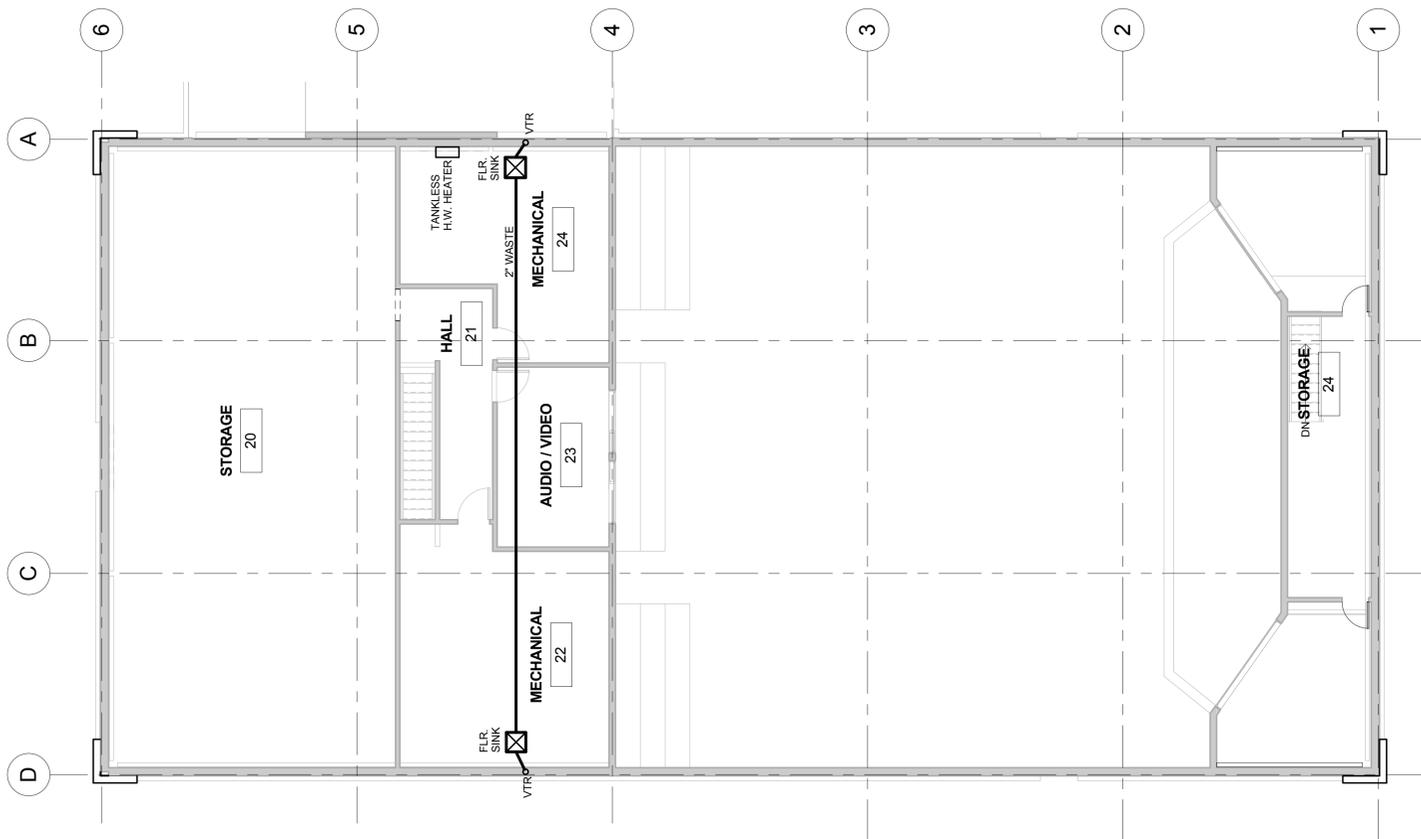
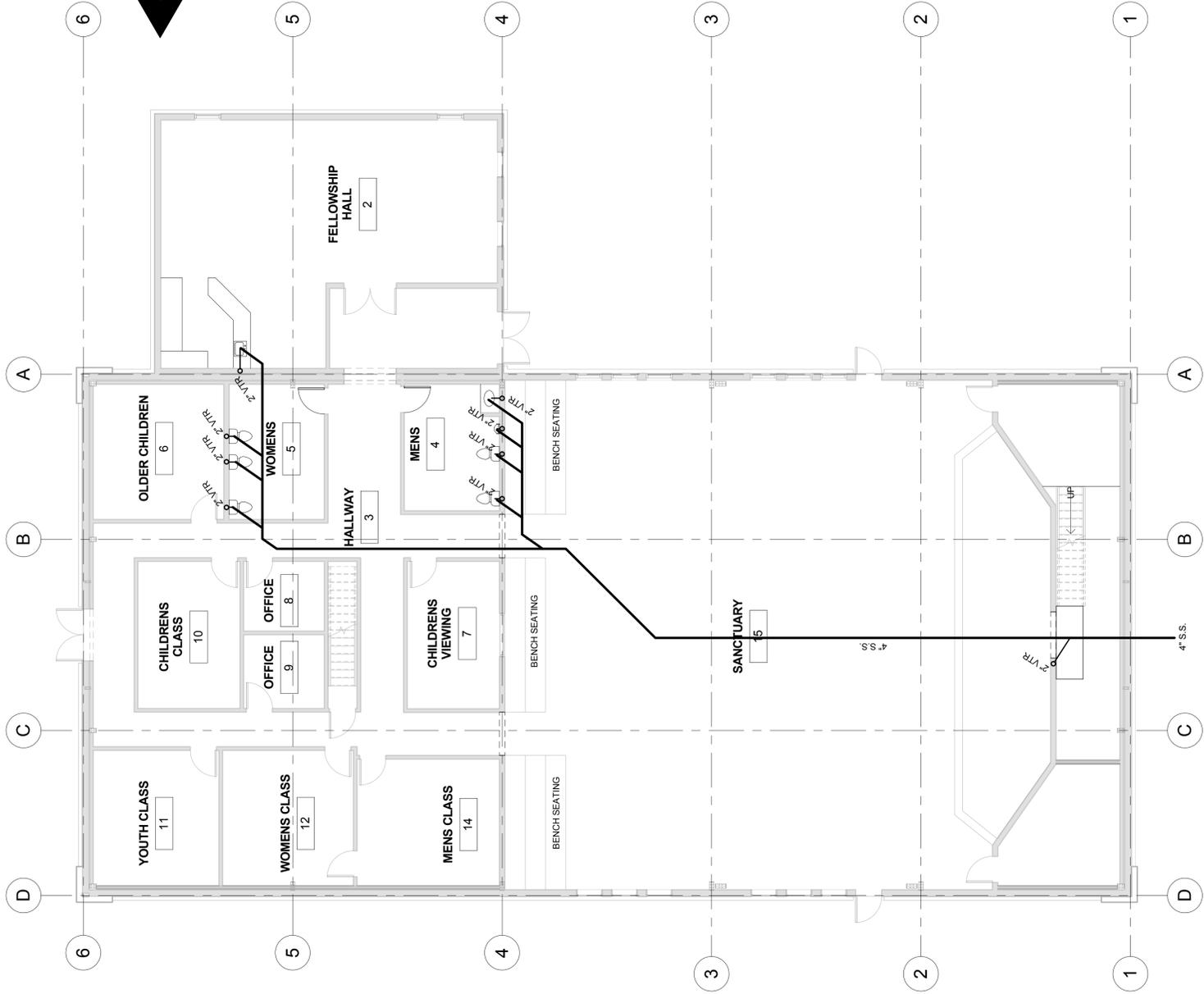
1 OVERALL FIRST FLOOR MECHANICAL PLAN
1/8" = 1'-0"

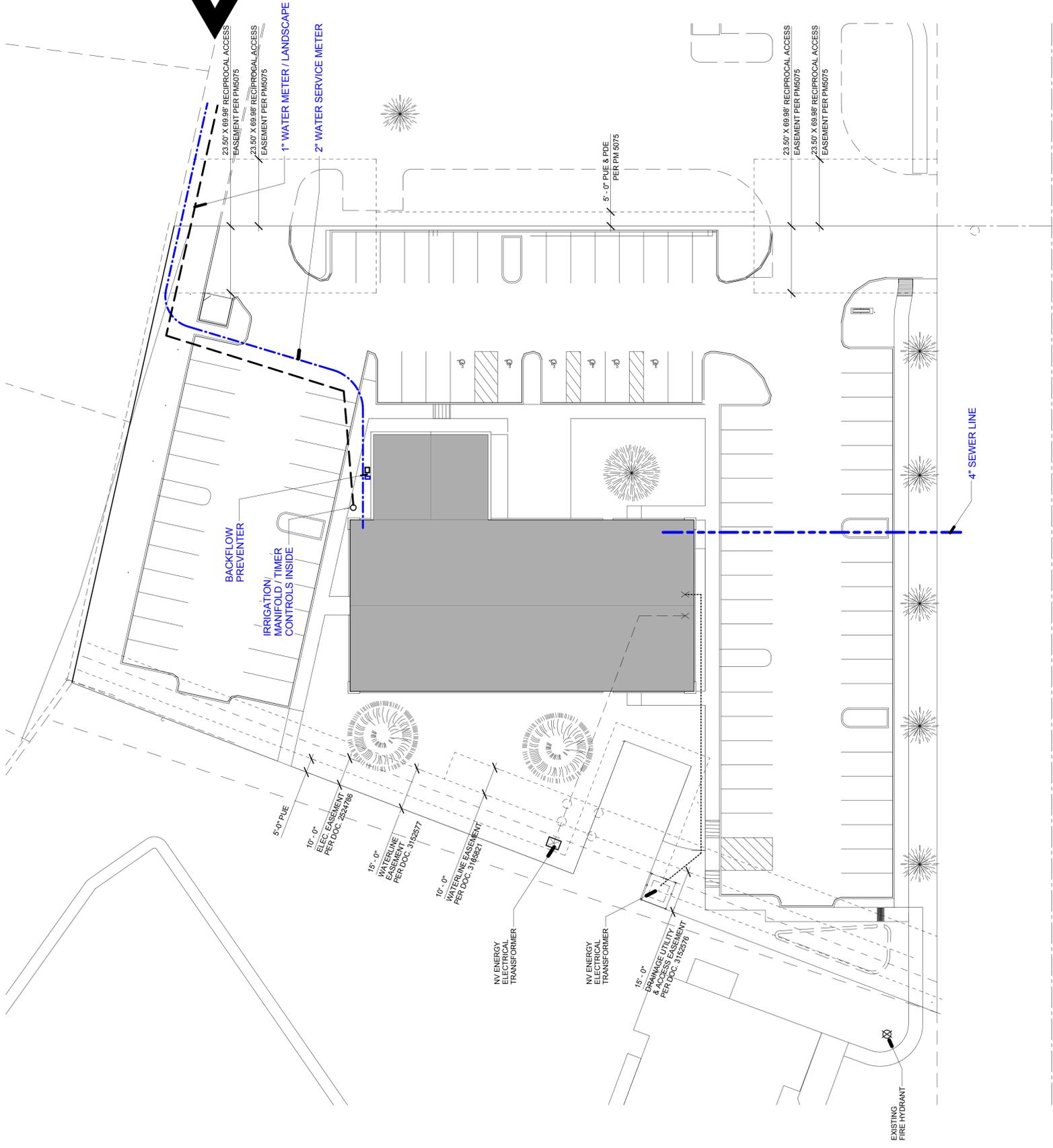


2 OVERALL SECOND FLOOR MECHANICAL PLAN
1/8" = 1'-0"

MECHANICAL EQUIPMENT

- F1 & F4 - COLEMAN TM9E080C16 95% AFUE SINGLE STAGE 80K BTU W/ CM48CBCA1 CASED COIL 4T TXV
- A/C 1 & 4 COLEMAN TW4B4821S CONDENSING UNIT
- 14 SEER 11.7 EER 4T SINGLE PHASE 208/230 410A
- F2 & F3 COLEMAN TM9E100C20MP11 95% AFUE SINGLE STAGE 100K BTU W/ CM60C8DA1 CASED COIL 5T TXV
- A/C 2 & 3 COLEMAN TW4B6021S CONDENSING UNIT 14 SEER 11.7 EER 5T SINGLE PHASE 208/230
- ZONING SYSTEM HONEYWELL HZ322 / U PANEL
- ACCESSORIES
- LP GAS KITS
- CONCENTRIC FLUE KITS
- T WHITE ROGERS PROGRAMMABLE THERMOSTATS
- ⊗ SUPPLY AIR GRILL
- ⊠ RETURN AIR GRILL
- ⊡ RETURN AIR GRILL
- ⊢ OUTSIDE AIR HOOD W/ DAMPER





1 ARCHITECTURAL UTILITY SITE PLAN
1" = 20'-0"

ASPHALT * TYP. SECTION
N.T.S.

CONCRETE * TYP. SECTION
N.T.S.

NOTES

- MIN. SLOPE SHALL BE 1% ON ASPHALT AND 0.4% ON CONC.
- SUBGRADE SHALL BE OVERGRADED IN AREAS OF UNSTABLE OR EXPANSIVE SOILS.
- STRUCTURAL SECTIONS FOR COMMERCIAL DRIVEWAYS, APPLICANTS & CONCERNEDS SHALL BE BASED UPON ENGINEERING DESIGN & GEOTECHS.
- CONC. SHALL MEET REQUIREMENTS OF STD. SPECS FOR PUBLIC WORKS CONSTRUCTION FOR CONC. EXPOSED TO FREEZE/THAW ENVIRONMENTS.
- THIS STANDARD APPLIES UP TO A MAX. OF TWO RESIDENTIAL LOTS SERVED BY A SINGLE DRIVEWAY.
- MIN. 4" THICK FULL DEPTH ASPH. SECTION W/FOG SEAL OR SLURRY SEAL MAY BE USED IN LIEU OF 2-1/2" ASPH. ON 4" TYPE 2 CLASS B BASE.
- FOR MIN. WIDTHS W/IN COUNTY RIGHT-OF-WAY REF. DINGCS. W-16.4, W-3.2, W-5.3

NO.	REVISION	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION	WASH/SHOE
			PRIVATE DRIVEWAY		
			CONCRETE OR ASPHALT		
				DRAWING NO:	W-5.4
				DATE: 2/14/17	PAGE: 16

Initial Date	2017-11-27	Plotted Date	2017-11-27	Scale	AS SHOWN	Version	Conceptual	Designed By	SJM	Drawn By	SJM	Last Saved By	Project #	G8217CF	Sheet	2 Of 6
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State of Nevada
Washoe County
Cold Springs Valley, NV 89508
Cold Springs Valley Church
3375 White Lake Parkway
Cold Springs Valley, NV 89508

Site Electrical Plan
Commercial Development (Church Building)

Terry Lee White
20913 White Rock Drive
Cold Springs Valley, NV 89508



Western Electric
Cecil Amold
P.O. Box 4837
Reno, NV 89506
Tel: (775) 844-4371
Fax: (775) 857-8246

1/2 0018

C E2

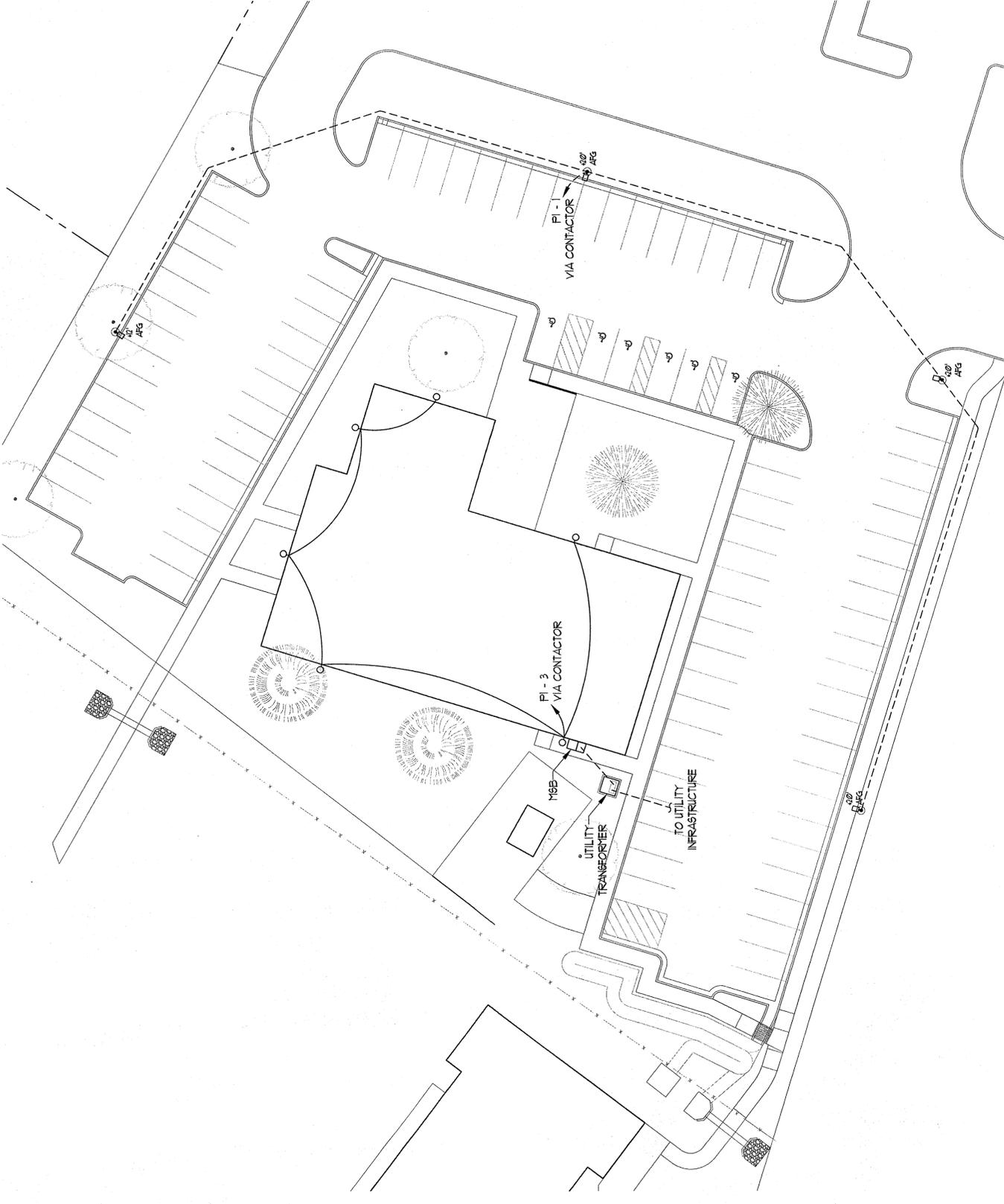
EXTERIOR LIGHTING CONTROL
DIAGRAM
NOT TO SCALE

A E2

SITE ELECTRICAL PLAN
SCALE: 1" = 20'-0"



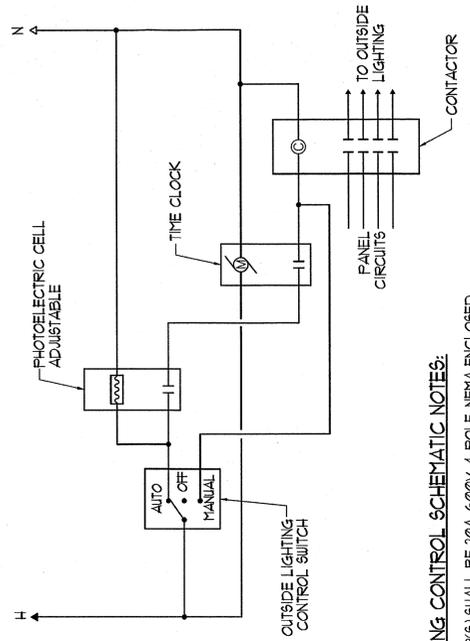
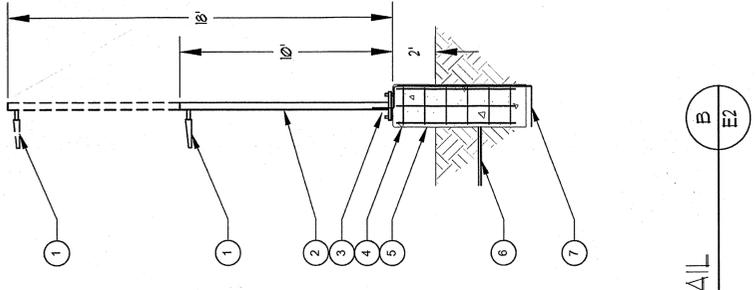
White Lake Parkway
(Previously Reno Park Blvd)



POLE & LUMINAIRE NOTES:

1. TANLITE ES820-56X14 LUMINAIRE WITH SQUARE POLE MOUNTING AND TYPE III DISTRIBUTION (BI-LEVEL NOTION/AMBIENT SENSORS) (LUMINAIRE EPA = 12 SQFT. EACH)
2. AQUITY BRANDS 866-10-4-C (OR 866-18-4-C) SQUARE STRAIGHT STEEL POLE (Ø7/Ø1 HIGH X 4' SQUARE) WITH ANCHOR BOLT MOUNTING FLANGE AND POLE RATED FOR 800 TYP. WINDS, WITH 1/2 GUST FACTOR, WITH LUMINAIRES ATTACHED.
3. INSTALL DRY-PACK CONCRETE BETWEEN POLE MOUNTING FLANGE AND CONCRETE FOUNDATION TACK WELD ATTACHMENT NUTS. PROVIDE AND INSTALL MATCHING BASE BOLT COVER
4. STEEL REINFORCED CONCRETE POLE BASE. EXPOSED POLE BASE IS TO BE SMOOTH FINISHED (STACKED) TO 6" BELOW FINISHED GRADE. CONTRACTOR SHALL RETAIN STRUCTURAL ENGINEER TO DESIGN POLE BASE AND SPECIFICATIONS.
5. ALL POLE BASES SHALL BE LOCATED NOT LESS THAN TWO FEET BACK FROM THE EDGE OF ANY ADJACENT CURB OR SIDEWALK EDGE.
6. UNDERGROUND ELECTRICAL LIGHTING SYSTEM CONDUITS AND WIRING SHALL BE MINIMUM 24" BELOW FINISHED GRADE.
7. 1/2" x 1/4" BARE SOL. CU. COILED IN BOTTOM OF FOUNDATION HOLE FOR LIGHTNING GROUND. EXTEND LIGHTNING GROUND CONDUCTOR UP ALONG INSIDE EDGE OF FOUNDATION AND SECURELY BOND LIGHTNING GROUND CONDUCTOR TO POLE SHAFT.

POLE LUMINAIRE DETAIL
SCALE: 1/4" = 1'-0"



OUTSIDE LIGHTING CONTROL SCHEMATIC NOTES:

1. LIGHTING CONTACTOR(S) SHALL BE 20A, 600V, 4-POLE, NEMA ENCLOSED
2. TIME CLOCK SHALL BE INTERMATIC ET 2000 OR EQUIVALENT.
3. PHOTOCELL SHALL BE INTERMATIC K-4100 OR EQUIVALENT.
4. LOCATE OUTSIDE LIGHTING CONTROLS (H.O.A., CLOCKS AND CONTACTORS) ADJACENT TO FEEDING ELECTRICAL PANEL. LOCATE PHOTOCELL OUTSIDE ON ROOF FACING NORTH.

Initial Date	2017-11-27	Revision Date	2017-11-27	Plotted Date	2017-11-27	AS SHOWN	Scale	Version	Conceptual	Designed By	SJM	Drawn By	SJM	Last Saved By	Project #	G8217CF	Sheet	3 Of 6
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State of Nevada
Washoe County
Cold Springs Valley
Cold Springs Valley, NV 89508
3375 White Lake Parkway
Cold Springs Valley Church
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Site Electrical Plan Commercial Development (Church Building)

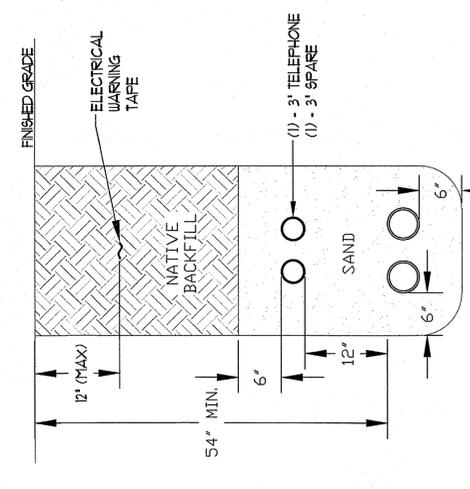


1/2/2018

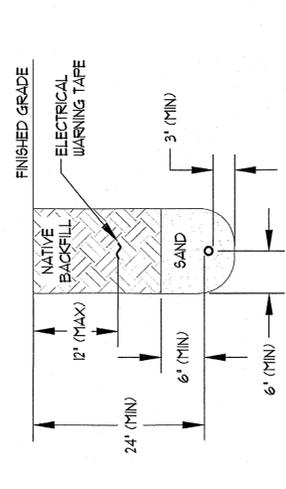


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Local one call center = 1 (800) 227-2600

Western Electric
WESTERN ELECTRIC
P.O. Box 4022
Reno, NV 89506
Fax: (775) 832-4246
Cell: Arnold

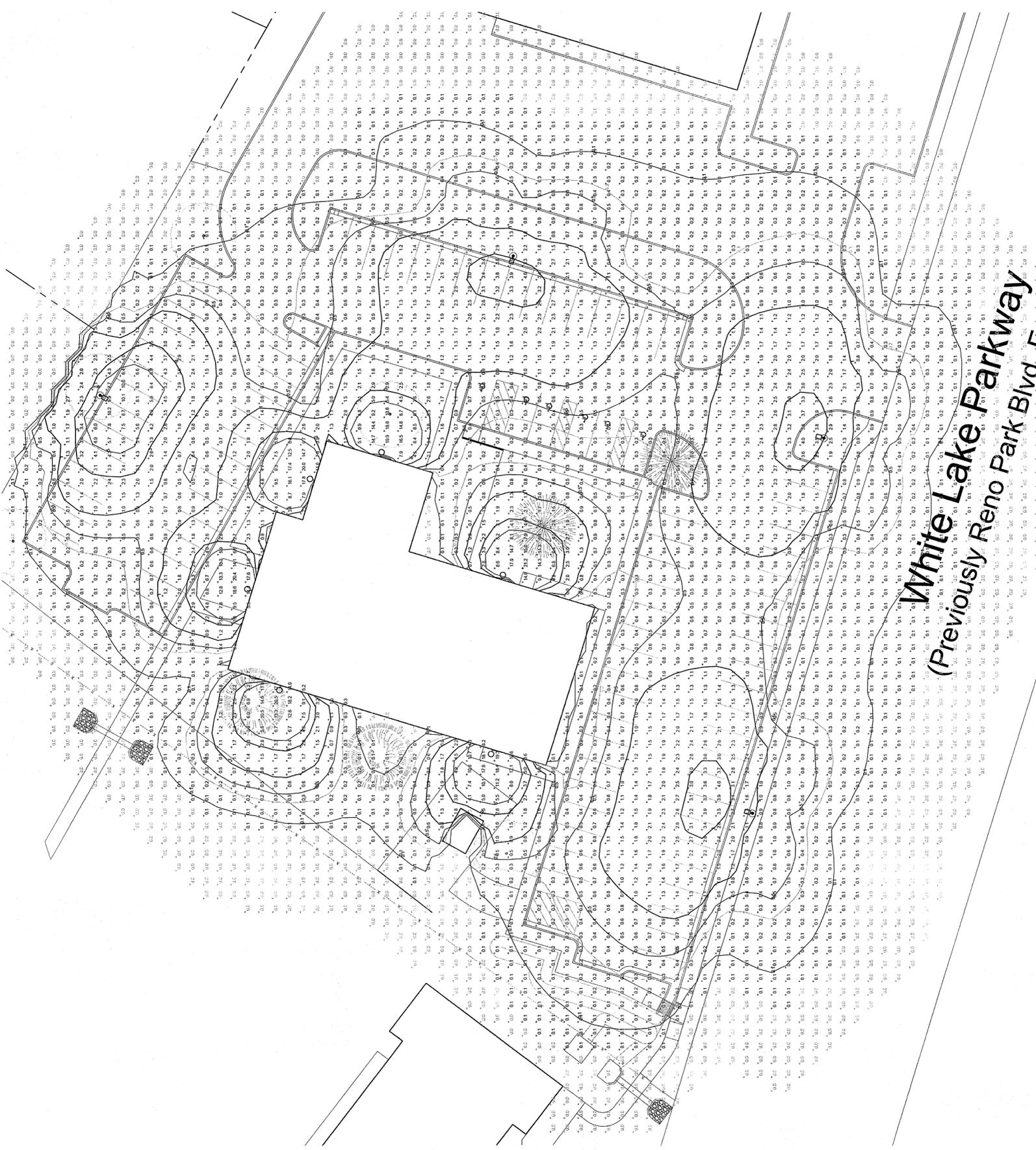


UTILITY PRIMARY/SECONDARY TRENCH DETAIL**
1"=1'-0"
E3
**TRENCHING MUST COMPLY WITH UTILITY COMPANY WORK ORDER DRAWINGS.



TYPICAL BRANCH CIRCUIT TRENCHING DETAIL
1"=1'-0"
E3

NOTES: (THIS SHEET ONLY)
① PHOTOMETRIC STUDY DOES NOT INCLUDE LIGHTING SPILLOVER FROM ADJACENT PROPERTIES.



A
1"=20'-0"
E3

SITE PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"



White Lake Parkway
(Previously Reno Park Blvd)